AREA MAP

SCALE: 1" = 400'

ADJOINING PARCEL OWNERS PER DC GIS

DAVID M. MCELROY
41 HILLCREST
WAPPINGERS FALLS, NY 12590
FOR PROPERTY:1356890062570002977842

YU-SHIN CHEN
45 HILLCREST CT.
WAPPINGERS FALLS, NY 12590
FOR PROPERTY:1356890062570002966832

HINDU SAMAJ
PO BOX 1188
WAPPINGERS FALLS, NY 12590
FOR PROPERTY:1356890063570001022799

EDWARD H. TORREGROSSA
271 ALL ANGELS HILL ROAD
WAPPINGERS FALLS, NY 12590
FOR PROPERTY:1356890062570002986805

GINA GLORIOSO
49 HILLCREST CT
WAPPINGERS FALLS, NY 12590
FOR PROPERTY:1356890062570002951822

STEVEN RELYEA
37 HILLCREST CT.
WAPPINGERS FALLS, NY 12590
FOR PROPERTY:1356890062570002990851

OWNER INFORMATION:	EDWARD TORREGROSSA 271 ALL ANGELS HILL ROAD, WAPPINGERS FALLS, NY 12590
ZONE CLASSIFICATION	R-40
ACTION:	RESIDENTIAL SUBDIVISION
TAX MAP PARCEL NO	135689-6257-02-986805
TOPOGRAPHIC DATUM	U.S.G.S.
TOTAL ACREAGE:	5.67 AC.
WATER SUPPLY:	COMMUNITY/PUBLIC - UNITED WAPPINGER WATER
SEWAGE DISPOSAL:	INDIVIDUAL OWTS
FEMA:	NO FLOODPLAINS ONSITE
WETLANDS:	NO WETLANDS ONSITE PER SITE VISIT

SITE SPECIFIC NOTES:

1. A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AT THE SITE WITH THE OWNER OR DEVELOPER AND A REPRESENTATIVE FROM THE DUTCHESS COUNTY DEPARTMENT OF HEALTH PRIOR TO THE INSTALLATION OF THE SEWAGE DISPOSAL SYSTEM TO DISCUSS APPROVED ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL.

2. IF A SEPTIC TANK IS DELIVERED TO THE SITE IN SECTIONS, IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE D.C.H.D. FIELD INSPECTOR AND/OR CERTIFYING ENGINEER THAT THE TANK IS SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AT A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS SEALED AND WATERTIGHT.

3. ALL HOUSES SHALL BE SET AT SUCH AN ELEVATION AS TO INSURE GRAVITY FEED TO THE SEWAGE DISPOSAL SYSTEM WHILE MAINTAINING PROPER COVER OVER ALL PIPING.

4. THE HOUSE LOCATION SHALL MEET THE MINIMUM REQUIREMENTS AS SET FOR BY THE TOWN ZONING ORDINANCE. THE TOWN ZONING AND BUILDING DEPARTMENTS SHALL BE CONSULTED TO INSURE CONFORMITY WITH ALL APPLICABLE ZONING REQUIREMENTS PRIOR TO CONSTRUCTION.

5. THE REGRADING FOR THE 100% RESERVE AREAS HAS BEEN DETAILED TO PROVE THAT THE REGRADING CAN BE ACCOMPLISHED. THE INSTALLATION OF THE 100% RESERVE AREAS ARE NOT REQUIRED AT THE TIME OF THE INSTALLATION OF THE PRIMARY AREAS.

6. WHERE SEWAGE DISPOSAL SYSTEMS (SDS'S) OR CURTAIN DRAINS ARE PROPOSED WITHIN 10' OF A PROPERTY LINE, THE PROPERTY LINE MUST BE

STAKED BY A NEW YORK STATE LICENSED LAND SURVEYOR PRIOR TO LOT CONSTRUCTION.
7. A PERMIT IS REQUIRED TO BE OBTAINED FROM THE DUTCHESS COUNTY DEPARTMENT OF PUBLIC WORKS FOR THE PROPOSED CURB CUT SERVICING PROPOSED LOTS 2 & 3.

8. WATER SUPPLY IS PROPOSED TO BE SERVED FROM THE TOWN OF WAPPINGER MUNICIPAL SUPPLY.

9. A WATER SERVICE LINE METER IS TO BE INSTALLED AT EACH HOUSE AS PER THE TOWN OF WAPPINGER SPECIFICATIONS.

10. THE WATER SERVICE LINE SHALL BE OWNED AND MAINTAINED BY THE HOME OWNER. THE PORTION OF THE LINE WITHIN THE RIGHT OF WAY WILL BE OWNED BY THE TOWN OF WAPPINGER.

11. ALL TAPS ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN WATER SYSTEM OPERATORS (CAMO POLLUTION CONTROL, INC.)

12. THE HOUSE ELEVATIONS SHOWN ARE FOR CONCEPTUAL PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY EXISTING GRADES AND SET HOUSES SO THAT RUNOFF AND GROUNDWATER DO NOT INUNDATE FOUNDATIONS.

13. THE OWNERS OF PROPOSED LOTS 1, 2 & 3 SHALL BE PERMANENTLY RESPONSIBLE FOR MAINTENANCE OF THE PROPOSED DRY POND. AN EASEMENT SURROUNDING THE AREA IS PROVIDED ON THIS PLAN AND SHALL BE INCORPORATED INTO THE DEEDS FOR LOTS 1, 2 & 3.

14. THE DRAINAGE EASEMENT (OR THE DRAINAGE DISCHARGE POINTS) SHOWN HEREON ESTABLISHES THE PERPETUAL RIGHT TO DISCHARGE STORMWATER RUNOFF FROM THE HIGHWAY AND FROM THE SURROUNDING AREA ONTO AND OVER THE AFFECTED PREMISES BY MEANS OF PIPES, CULVERTS OR DITCHES, OR A COMBINATION THEREOF, TOGETHER WITH THE RIGHT OF THE HOLDER OF FEE TITLE OF THE HIGHWAY OR HIS AUTHORIZED REPRESENTATIVES, TO ENTER SAID PREMISES FOR PURPOSES OF MAKING SUCH INSTALLATIONS AND DOING SUCH MAINTENANCE WORK AS SAID HOLDER OF FEE TITLE MAY DEEM NECESSARY TO ADEQUATELY DRAIN THE HIGHWAY AND SURROUNDING AREA.

15. NO BUILDING PERMITS MAY BE ISSUED FOR ANY LOTS IN THIS SUBDIVISION UNTIL THE ROUGH GRADING, DRAINAGE IMPROVEMENTS, WATER, UNDERGROUND UTILITIES, OFFSITE WATER AND INDIVIDUAL SEPTIC SYSTEM IMPROVEMENTS HAVE BEEN COMPLETED TO THE SATISFACTION OF THE TOWN ENGINEER.

16. DURING CONSTRUCTION OF THE PROPOSED DPW ROW IMPROVEMENTS, OR UPON COMPLETION OF THE IMPROVEMENTS, THE DUTCHESS COUNTY DEPARTMENT OF PUBLIC WORKS MAY REQUIRE THAT AN ADDITIONAL CATCH BASIN AND PIPE BE INSTALLED SOUTH OF THE LOT 1 DRIVEWAY TO MITIGATE POSSIBLE DRAINAGE PROBLEMS. THIS SHALL BE THE RESPONSIBILITY OF THE APPLICANT.

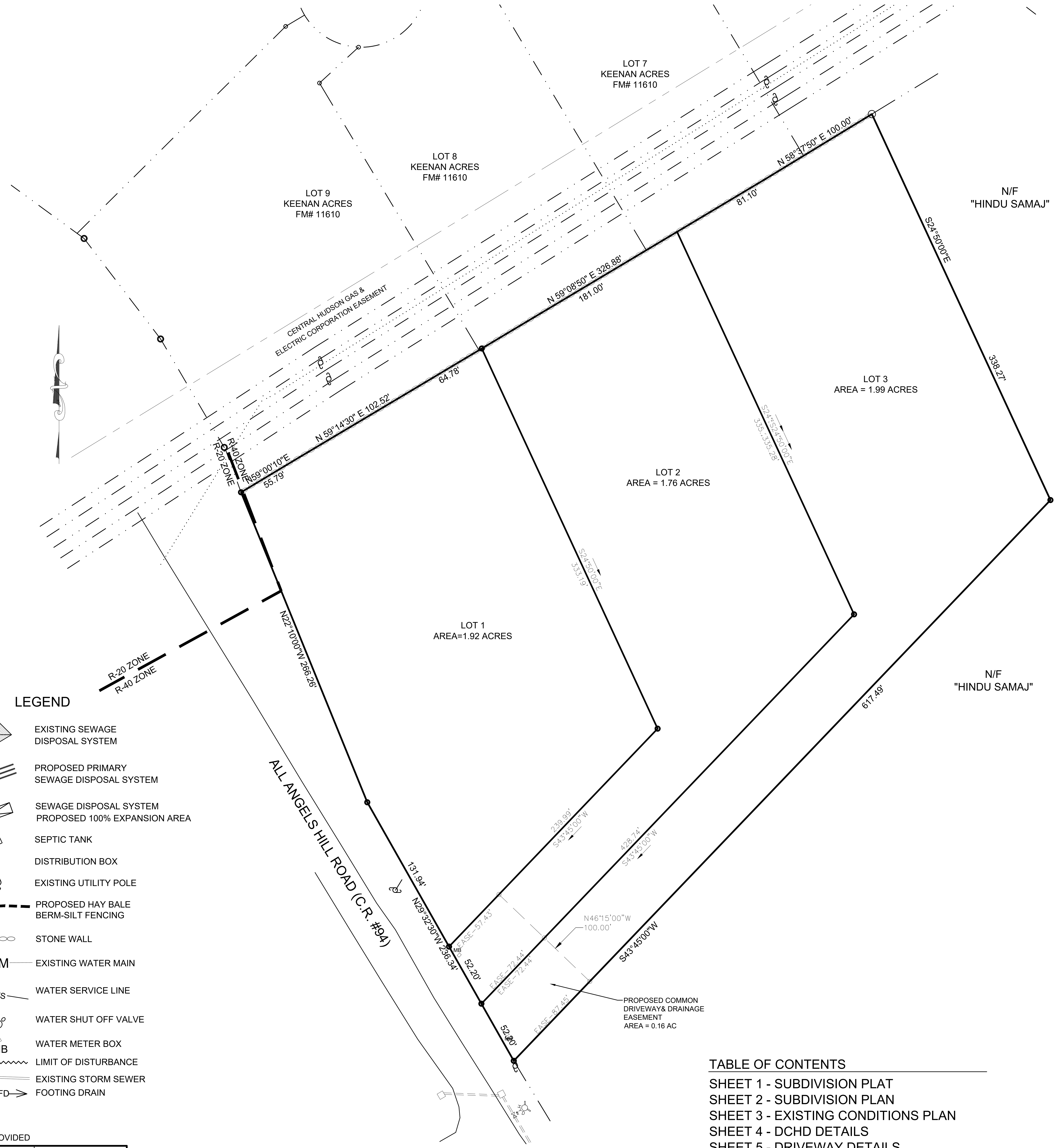
BULK REQUIREMENTS

MINIMUM PROVIDED

DISTRICT	R-40	LOT #1	LOT #2	LOT #3
MIN. LOT AREA W/WATER OR SEWER	60,000 SQUARE FEET 0.92 ACRE	83,559 SQ.FT. 1.92 AC.	76,880 SQ.FT. 1.76 AC.	86,738 SQ.FT. 1.99 AC.
MIN. FRONTAGE	50'	398.2'	52.2'	52.2'
MIN. WIDTH	125'	378.0'	365.4'	367.4'
MIN. DEPTH	125'	230.9'	181.0'	181.0'
MIN. FRONT YARD (FROM COUNTY HIGHWAY)	75'	117.5'	441'	570'
MIN. SIDE YARD	25'	151.2'	75'	53'
MIN. REAR YARD	50'	53.2'	68'	104'
MAX. BUILDING COVERAGE (% LOT AREA)	12%	1.8%	2.3%	2.0%
MAX. FLOOR AREA RATIO	0.12	0.03	0.05	0.04
MAX. HEIGHT	35'/2.5 STORIES	< 35'/2.5 STORIES	< 35'/2.5 STORIES	< 35'/2.5 STORIES

LEGEND

▨	EXISTING SEWAGE DISPOSAL SYSTEM
≡	PROPOSED PRIMARY SEWAGE DISPOSAL SYSTEM
☒	SEWAGE DISPOSAL SYSTEM PROPOSED 100% EXPANSION AREA
▭	SEPTIC TANK
◇	DISTRIBUTION BOX
	EXISTING UTILITY POLE
▬ ▬ ▬	PROPOSED HAY BALE BERM-SILT FENCING
○○○○	STONE WALL
WM	EXISTING WATER MAIN
WS	WATER SERVICE LINE
WSO	WATER SHUT OFF VALVE
MB	WATER METER BOX
~~	LIMIT OF DISTURBANCE
	EXISTING STORM SEWER
—FD→	FOOTING DRAIN



PROPOSED CONDITIONS PLAN

SCALE: 1" = 50'

TABLE OF CONTENTS

SURVEY CERTIFICATION

I HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY WAS PREPARED BY ME AND WAS MADE FROM AN ACTUAL FIELD SURVEY COMPLETED IN JANUARY 2003. TOPOGRAPHICAL SURVEY AS PER USGS DATUM.

ROBERT V. OSWALD, NYSLLS #50031

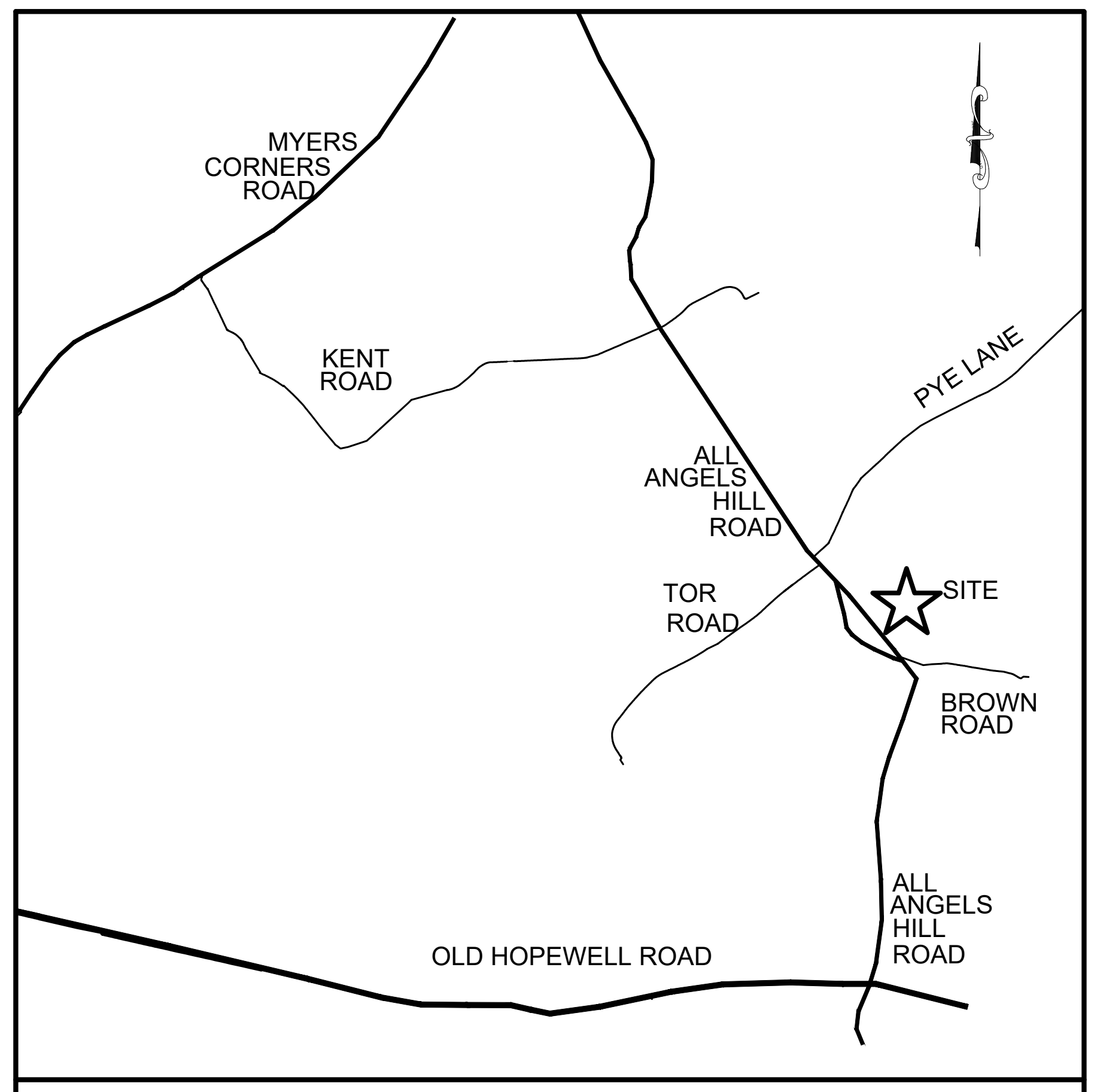
SEAL

OWNER CONSENT

THE UNDERSIGNED OWNER(S) OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER

DATE



LOCATION MAP

SCALE: 1" = 2000'

RECOMMENDED FOR APPROVAL

DUTCHESS COUNTY DEPARTMENT OF HEALTH
APPROVED

SUPERVISING PUBLIC HEALTH ENGINEER

TOWN OF WAPPINGER PLANNING BOARD

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK ON THE _______________ DAY OF______ ____________, 2023 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.
TOWN OF WAPPINGER PLANNING BOARD

SIGNED THIS_____________ DAY OF __________________________, 2023

TOWN OF WAPPINGER PLANNING BOARD CHAIR

Brian J. Stokosa, PE

083970

Revisions	MAY 07, 2023 APRIL 15, 2023 FEBRUARY 9, 2023
Project No.	2022:478
License No. 083970	

DAY STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT
TORREGROSSA SUBDIVISION
Town of Wappinger
Dutchess County, New York

DRAWING
SUBDIVISION PLAT

SCALE	DRAWN BY	DRAWING No.
AS NOTED	BJS	1
DATE	CHECKED BY	
11-22-22	BJS	1 of 7

CONSTRUCTION SEQUENCE

PRE-CONSTRUCTION SEQUENCE:

1. SUBMIT N.O.I. TO BUREAU OF WATER PERMITS, ALBANY NY.
2. RECEIVE ACKNOWLEDGEMENT BACK FROM NYSDEC.
3. HOLD A PRE-CONSTRUCTION MEETING WITH THE SITE ENGINEER, CONTRACTOR, TOWN STORMWATER MANAGMENT OFFICER. PLACE A COPY OF THE SWPPP REPORT ON SITE ALONG WITH A COPY OF THE INSPECTOR'S LOGBOOK CONTAINING COPIES OF THE WEEKLY INSPECTIONS. WEEKLY INSPECTION REPORTS ARE TO BE SCANNED AND EMAILED TO THE TOWN STORMWATER MANAGEMENT OFFICER. (APPLICANT'S EROSION & SEDIMENT CONTROL INSPECTION AGENT SHALL BE A “QUALIFIED PROFESSIONAL” AND CONDUCT AN INSPECTION ON A WEEKLY BASIS)

CONSTRUCTION SEQUENCE:

1. INSTALL AND STABILIZE TEMPORARY EROSION & SEDIMENT CONTROL MEASURES AS SHOWN ON THE SWPPP PLAN.
2. CONFIRM UTILITY LOCATIONS. CALL 1-800-962-7962 OR VISIT WWW.DIGSAFELYNEWYORK.COM. SPECIAL ATTENTION SHALL BE PAID TO THE EXISTING WATER MAIN LOCATION IN THE COUNTY RIGHT-OF-WAY.
3. INSTALL SILT FENCE AS SHOWN.
4. ROUGH GRADE THE COMMON DRIVEWAY AND INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AT THE PROPOSED COMMON DRIVEWAY ENTRANCE.
5. PERFORM DRAINAGE IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY, INCLUDING INSTALLATION OF THE PROPOSED CATCH BASIN AND CULVERT TO THE EXISTING CATCH BASIN.
6. CONSTRUCT PROPOSED SEDIMENT TRAPS.
7. CONSTRUCT INDIVIDUAL LOTS AS SHOWN ON THE APPROVED PLOT PLAN. ALL OTHER ITEMS (WATER SEWER INSTALL) AS NECESSARY, PER THE APPROVED PLANS.
8. UPON COMPLETION OF FINAL GRADING OF ANY AREA, SEED AND STABILIZE.
9. ONCE THE SITE IS STABILIZED, REMOVE ALL ACCUMULATED SEDIMENT FROM SEDIMENT TRAPS. INSTALL DRIVEWAY DRAINAGE IMPROVEMENTS AND CULTEC SYSTEM. PROVIDE INLET PROTECTION UNTIL LOTS ARE STABILIZED.
10. REMOVE TEMPORARY DIVERSION SWALE, REPLACE WITH CURTAIN DRAIN AS SHOWN. REPLACE CHECK DAMS AS REQUIRED. CHECK DAMS TO REMAIN AS PERMANENT SEDIMENT CONTROL.
11. TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS THAT HAVE OBTAINED FINISHED GRADE ELEVATIONS.
12. SEED AND MULCH ALL DISTURBED AREAS THAT WILL NOT BE RE-DISTURBED FOR AT LEAST 14 DAYS.
13. FINALIZE BUILDING CONSTRUCTION.
14. FINALIZE DRIVEWAY SURFACE TREATMENT
15. THE DRAINAGE SYSTEM SHALL CHECKED FOR ANY SEDIMENT BUILD-UP, SEDIMENT REMOVED, SYSTEM FLUSHED CLEAN WITH WATER, SYSTEM INSPECTED BY THE MS4 OFFICER, CHECK DAMS INSPECTED PRIOR TO N.O.T. AUTHORIZATION.
16. ONCE ALL MAJOR SITE DISTURBANCE ACTIVITIES HAVE CEASED, FINAL STABILIZATION AND DRAINAGE INSPECTION ACCEPTED BY THE HIGHWAY DEPARTMENT/MS4 OFFICER, FILE AN N.O.T. (NOTICE OF TERMINATION) WITH NYSDEC.
17. TERMINATE EROSION CONTROL INSPECTIONS.

EROSION CONTROL IMPLEMENTATION SCHEDULE (ALL PHASES):

EROSION/SEDIMENT CONTROL	PLACEMENT
SILT FENCE	PRIOR TO ANY SITE DISTURBANCE/AS REQUIRED AS PER CONSTRUCTION SEQUENCE
STABILIZED CONSTRUCTION ENTRANCE	PRIOR TO ANY GRADING OF THE SITE/AS REQUIRED AS PER CONSTRUCTION SEQUENCE
SILT FENCE (ADDITIONAL)	INSTALL AS REQ.DURING RD CONSTRUCTION/AS REQUIRED AS PER CONST. SEQUENCE
CHECK DAM	AS REQUIRED AS PER CONSTRUCTION SEQUENCE

- SEDIMENT TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED OR CLEANED ON A DAILY BASIS.
- REFER TO CONSTRUCTION SEQUENCE FOR ADDITIONAL INFORMATION

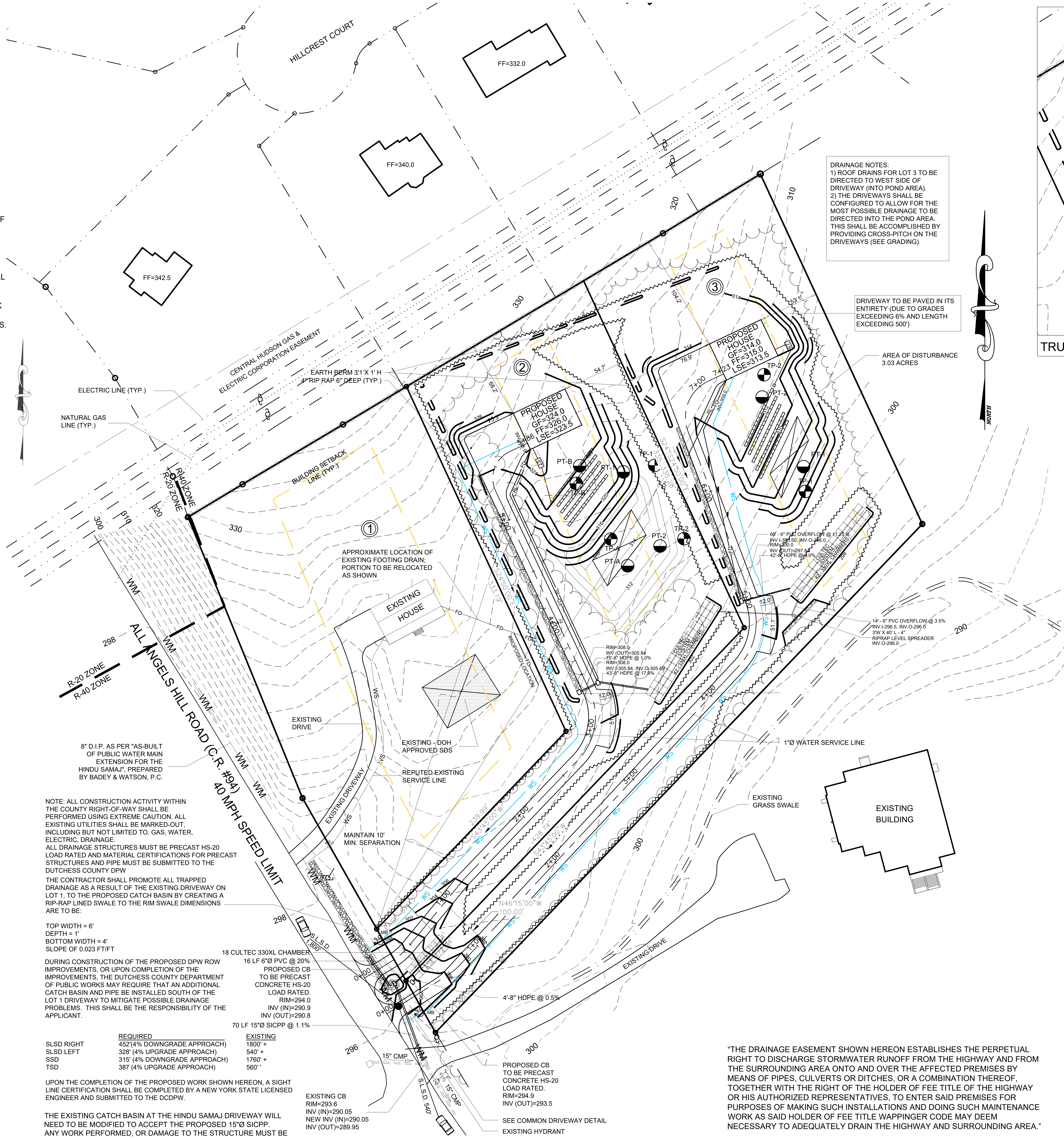
CONSTRUCTION EROSION CONTROL MAINTENANCE SCHEDULE (ALL PHASES):

STRUCTURE	INSPECTION	MAINTENANCE REQUIRED	STRUCTURE TYPE
SILT FENCE	WEEKLY	REPAIR, REPLACE	TEMPORARY
STABILIZED CONSTRUCTION ENTRANCE	DAILY	REPAIR, REPLACE	TEMPORARY
LITTER	DAILY	PICK UP	--
CHECK DAM	WEEKLY	REPAIR	TEMPORARY
DUST	DAILY	SPRAYING, SWEEPING	--
RIPRAP OUTLET	WEEKLY	REPAIR	PERMANENT
VEGETATION ESTABLISHMENT	WEEKLY	WATERING, SEEDING	PERMANENT
SITE DISTURBANCE PLAN UPDATE	WEEKLY	UPDATE DISTURBANCE AREA	--

- REFER TO CONSTRUCTION SEQUENCE FOR ADDITIONAL INFORMATION

ENDANGERED AND THREATENED SPECIES NOTES

1. IN ORDER TO PROTECT THE FEDERALLY LISTED ENDANGERED INDIANA BAT (MYOTIS SODALIS) THE CLEARING OF TREES SHALL OCCUR BETWEEN OCTOBER 1ST AND MARCH 31ST.



DRAINAGE NOTES:
1) ROOF DRAINS FOR LOT 3 TO BE DIRECTED TO WEST SIDE OF DRIVEWAY (INTO POND AREA).
2) THE DRIVEWAYS SHALL BE CONFIGURED TO ALLOW FOR THE MOST POSSIBLE DRAINAGE TO BE DIRECTED INTO THE POND AREA. THIS SHALL BE ACCOMPLISHED BY PROVIDING CROSS-PITCH ON THE DRIVEWAYS (SEE GRADING).

NOTE: ALL CONSTRUCTION ACTIVITY WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE PERFORMED USING EXTREME CAUTION. ALL EXISTING UTILITIES SHALL BE MARKED-OUT, INCLUDING BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, DRAINAGE.

ALL DRAINAGE STRUCTURES MUST BE PRECAST HS-20 LOAD RATED AND MATERIAL CERTIFICATIONS FOR PRECAST STRUCTURES AND PIPE MUST BE SUBMITTED TO THE DUTCHESS COUNTY DPW

THE CONTRACTOR SHALL PROMOTE ALL TRAPPED DRAINAGE AS A RESULT OF THE EXISTING DRIVEWAY ON LOT 1, TO THE PROPOSED CATCH BASIN BY CREATING A RIP-RAP LINED SWALE TO THE RIM SWALE DIMENSIONS ARE TO BE:

TOP WIDTH = 6'
DEPTH = 1'
BOTTOM WIDTH = 4'
SLOPE OF 0.023 FT/FT

DURING CONSTRUCTION OF THE PROPOSED DPW ROW IMPROVEMENTS, OR UPON COMPLETION OF THE IMPROVEMENTS, THE DUTCHESS COUNTY DEPARTMENT OF PUBLIC WORKS MAY REQUIRE THAT AN ADDITIONAL CATCH BASIN AND PIPE BE INSTALLED SOUTH OF THE LOT 1 DRIVEWAY TO MITIGATE POSSIBLE DRAINAGE PROBLEMS. THIS SHALL BE THE RESPONSIBILITY OF THE APPLICANT.

	REQUIRED	EXISTING
SLSD RIGHT	452'(4% DOWNGRADE APPROACH)	1800' +
SLSD LEFT	328' (4% UPGRADE APPROACH)	540' +
SSD	315' (4% DOWNGRADE APPROACH)	1760' +
TSD	387 (4% UPGRADE APPROACH)	560' '

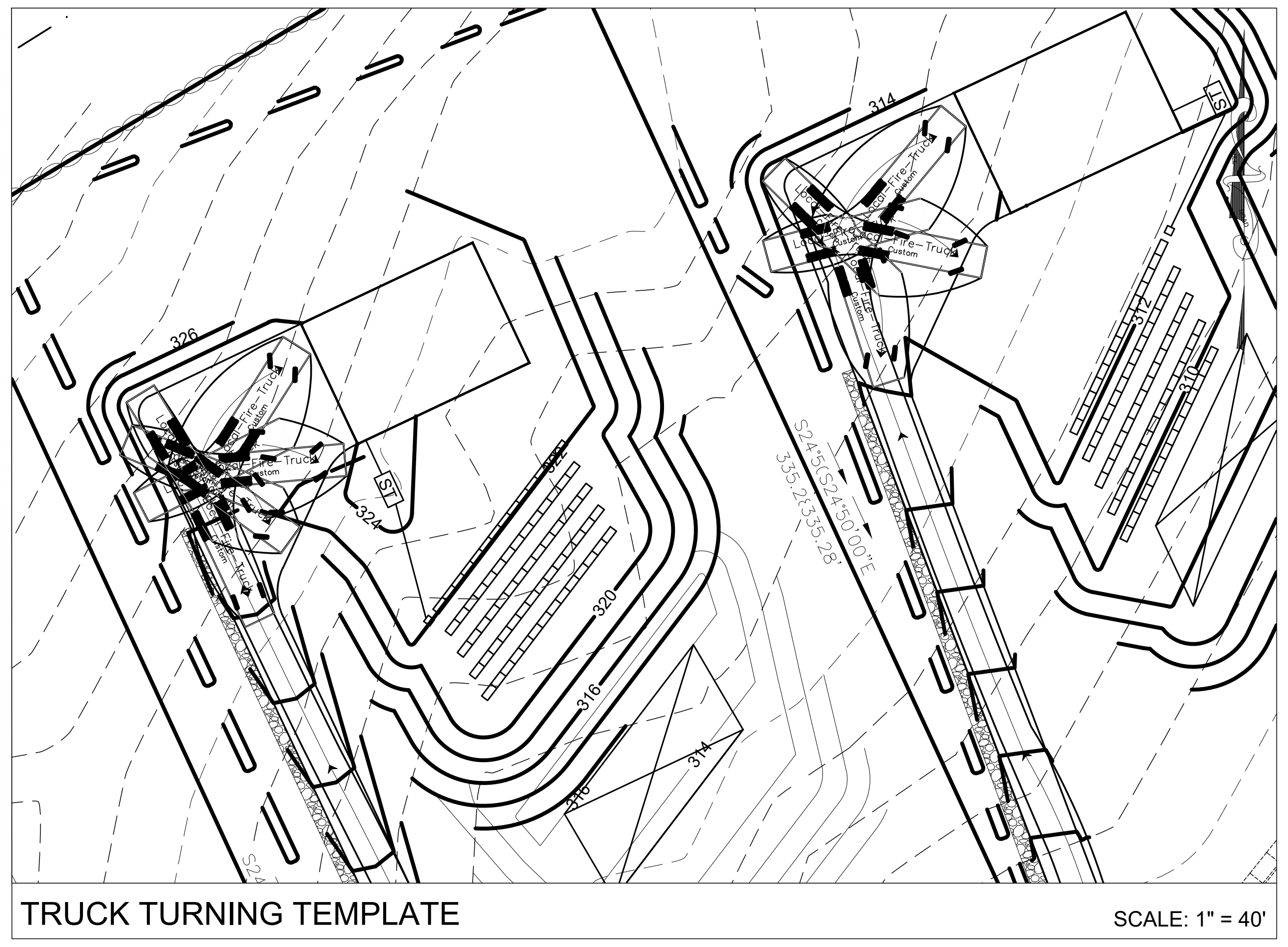
UPON THE COMPLETION OF THE PROPOSED WORK SHOWN HEREON, A SIGHT LINE CERTIFICATION SHALL BE COMPLETED BY A NEW YORK STATE LICENSED ENGINEER AND SUBMITTED TO THE DCDPW.

THE EXISTING CATCH BASIN AT THE HINDU SAMAJ DRIVEWAY WILL NEED TO BE MODIFIED TO ACCEPT THE PROPOSED 15"Ø SICPP. ANY WORK PERFORMED, OR DAMAGE TO THE STRUCTURE MUST BE REPAIRED TO THE SATISFACTION OF THE DCDPW.

PROPOSED CONDITIONS PLAN

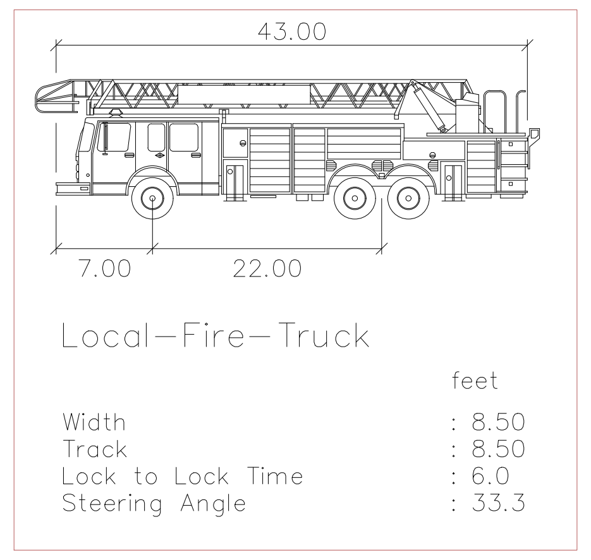
SCALE: 1" = 50'

“THE DRAINAGE EASEMENT SHOWN HEREON ESTABLISHES THE PERPETUAL RIGHT TO DISCHARGE STORMWATER RUNOFF FROM THE HIGHWAY AND FROM THE SURROUNDING AREA ONTO AND OVER THE AFFECTED PREMISES BY MEANS OF PIPES, CULVERTS OR DITCHES, OR A COMBINATION THEREOF, TOGETHER WITH THE RIGHT OF THE HOLDER OF FEE TITLE OF THE HIGHWAY OR HIS AUTHORIZED REPRESENTATIVES, TO ENTER SAID PREMISES FOR PURPOSES OF MAKING SUCH INSTALLATIONS AND DOING SUCH MAINTENANCE WORK AS SAID HOLDER OF FEE TITLE WAPPINGER CODE MAY DEEM NECESSARY TO ADEQUATELY DRAIN THE HIGHWAY AND SURROUNDING AREA.”



TRUCK TURNING TEMPLATE

SCALE: 1" = 40'



LEGEND

◇	EXISTING SEWAGE DISPOSAL SYSTEM
▭	PROPOSED PRIMARY SEWAGE DISPOSAL SYSTEM
▱	SEWAGE DISPOSAL SYSTEM PROPOSED 100% EXPANSION AREA
▫	SEPTIC TANK
▫	DISTRIBUTION BOX
∂	EXISTING UTILITY POLE
— — —	PROPOSED HAY BALE BERM-SILT FENCING
○○○○	STONE WALL
—WM—	EXISTING WATER MAIN
—WS—	WATER SERVICE LINE
WSO	WATER SHUT OFF VALVE
∿∿∿	LIMIT OF DISTURBANCE
◇═	EXISTING STORM SEWER
—FD→	FOOTING DRAIN

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

OWNER CONSENT

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OWNER
DATE

TOWN OF WAPPINGER PLANNING BOARD

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TOWN OF WAPPINGER PLANNING BOARD

SIGNED THIS______________ DAY OF ____________________________, 2023

TOWN OF WAPPINGER PLANNING BOARD CHAIR

Brian J. Stokosa, PE

Revisions
MAY 07, 2023
APRIL 15, 2023
FEBRUARY 9, 2023

083970

Project No. 2022:478
License No. 083970

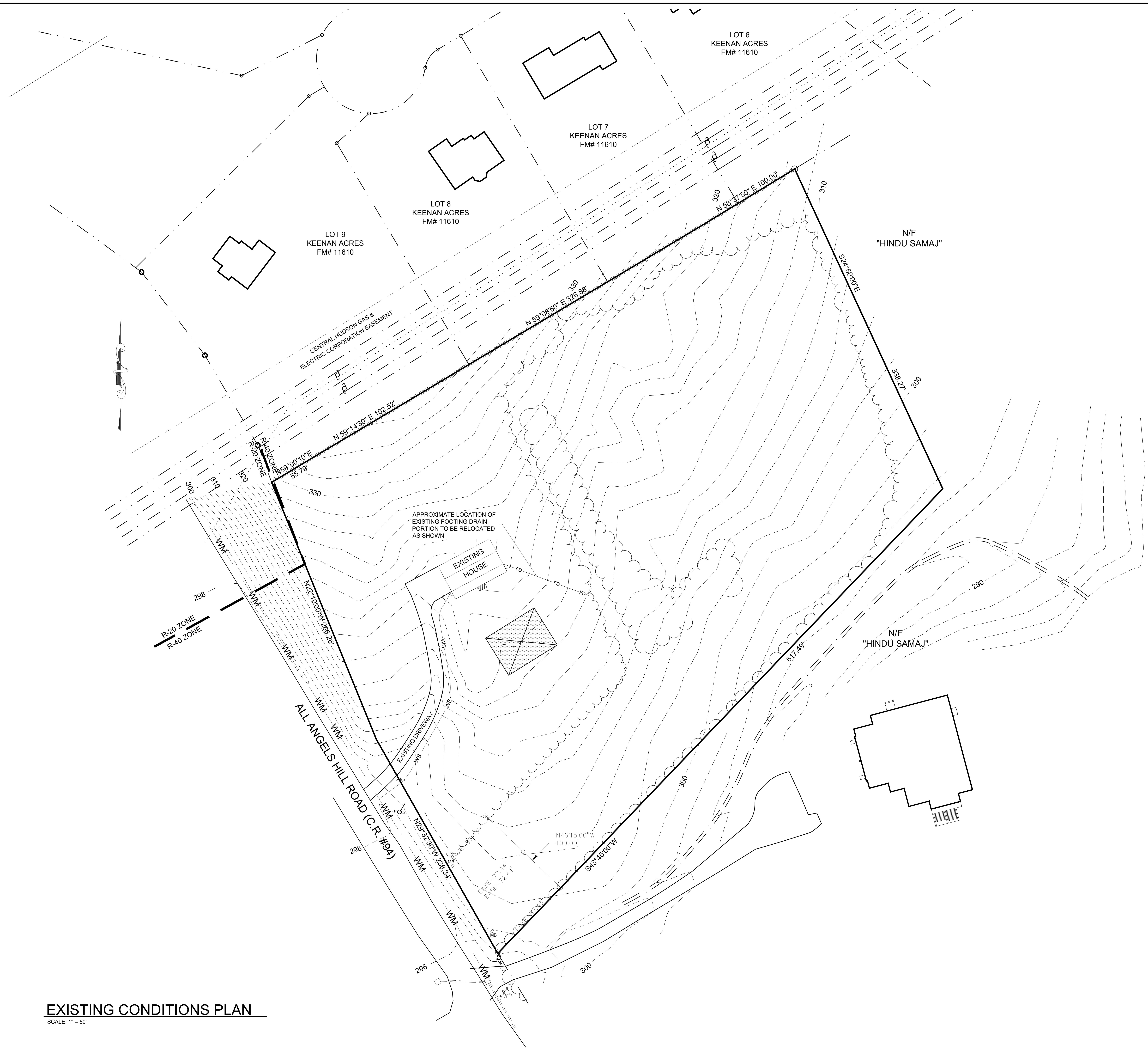
DAY | STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT
TORREGROSSA SUBDIVISION
Town of Wappinger
Dutchess County, New York

DRAWING
SUBDIVISION PLAN

SCALE	DRAWN BY	DRAWING No.
AS NOTED	BJS	2
DATE	CHECKED BY	
11-22-22	BJS	2 of 7



EXISTING CONDITIONS PLAN

SCALE: 1" = 50'

LEGEND

- EXISTING SEWAGE DISPOSAL SYSTEM
- PROPOSED PRIMARY SEWAGE DISPOSAL SYSTEM
- SEWAGE DISPOSAL SYSTEM PROPOSED 100% EXPANSION AREA
- SEPTIC TANK
- DISTRIBUTION BOX
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SURVEY CERTIFICATION

I HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY WAS PREPARED BY ME AND WAS MADE FROM AN ACTUAL FIELD SURVEY COMPLETED IN JANUARY 2003. TOPOGRAPHICAL SURVEY AS PER USGS DATUM.

ROBERT V. OSWALD, NYSLLS #50031

SEAL

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TOWN OF WAPPINGER PLANNING BOARD CHAIR

	Brian J. Stokosa, PE
MAY 07, 2023	
APRIL 15, 2023	
FEBRUARY 9, 2023	
Revisions	
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DAY | STOKOSA
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3 Van Wyck Lane
Wappingers Falls, New York
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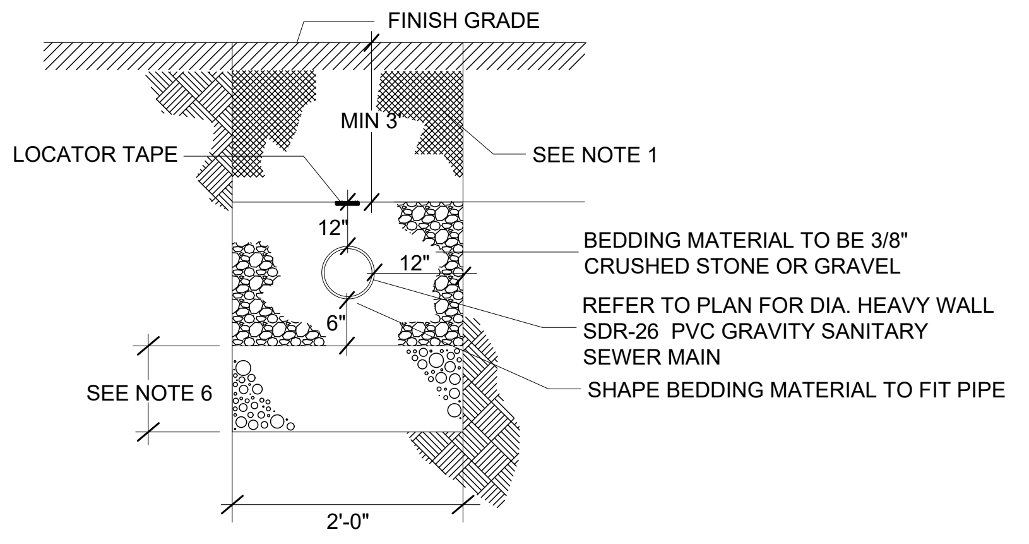
PROJECT
TORREGROSSA SUBDIVISION
Town of Wappinger
Dutchess County, New York

DRAWING
EXISTING CONDITIONS

SCALE	DRAWN BY	DRAWING No.
AS NOTED	BJS	3
DATE	CHECKED BY	
11-22-22	BJS	3 of 7

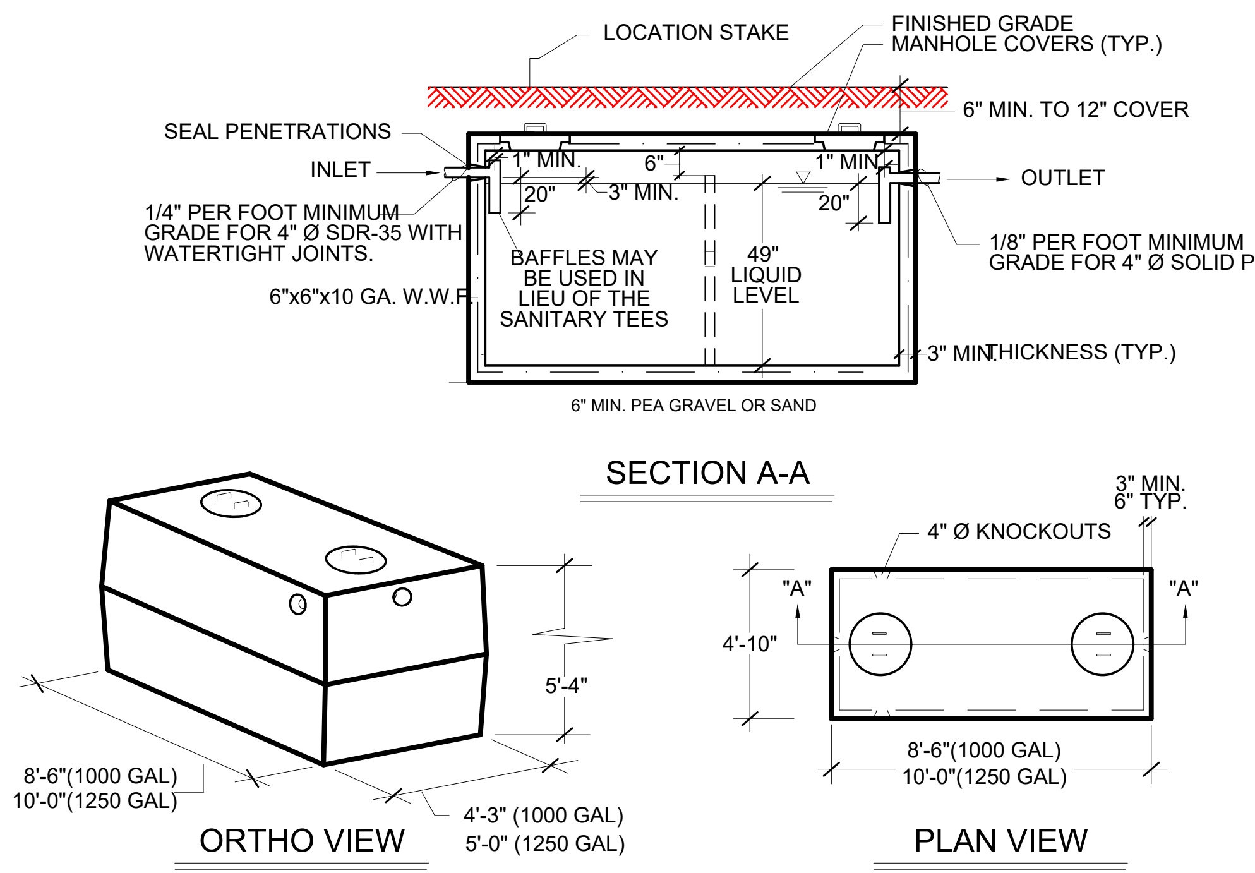


NOTES:

1) TRENCH BACKFILL SHALL BE COMPACTED RUN-OF-BANK GRAVEL.
2) FILL OR BACKFILL MATERIAL SHALL BE DEPOSITED IN 6" LIFTS. EACH LIFT SHALL BE COMPACTED PRIOR TO THE PLACEMENT OF THE NEXT LIFT.
3) BACKFILLING AROUND PIPES SHALL BE DONE UNIFORMLY ON EACH SIDE OF THE PIPE.
4) THOROUGHLY CLEAN ALL SANITARY SEWER MAINS PRIOR TO ACCEPTANCE TESTING.
5) IN THE EVENT THAT THE CONDUIT IS BEING INSTALLED IN WET CONDITIONS, THE CONTRACTOR SHALL LINE THE TRENCH WITH FILTER FABRIC & BED THE PIPE IN 3/8" STONE INSIDE THE FILTER FABRIC.
6) IF PIPE FOUNDATION IS FOUND TO BE UNSUITABLE, THE CONTRACTOR SHALL INSTALL AND COMPACT 6" OF RUN-OF-BANK GRAVEL.
7) PIPE SHALL BE LAID ON STRAIGHT ALIGNMENT AND UNIFORM SLOPE BETWEEN MANHOLES.
8) A DEFLECTION TEST (95% MANDREL) SHALL BE PERFORMED ON THE MAIN SEWER LINES.

TYPICAL SANITARY PIPE DETAIL

SCALE: NOT TO SCALE

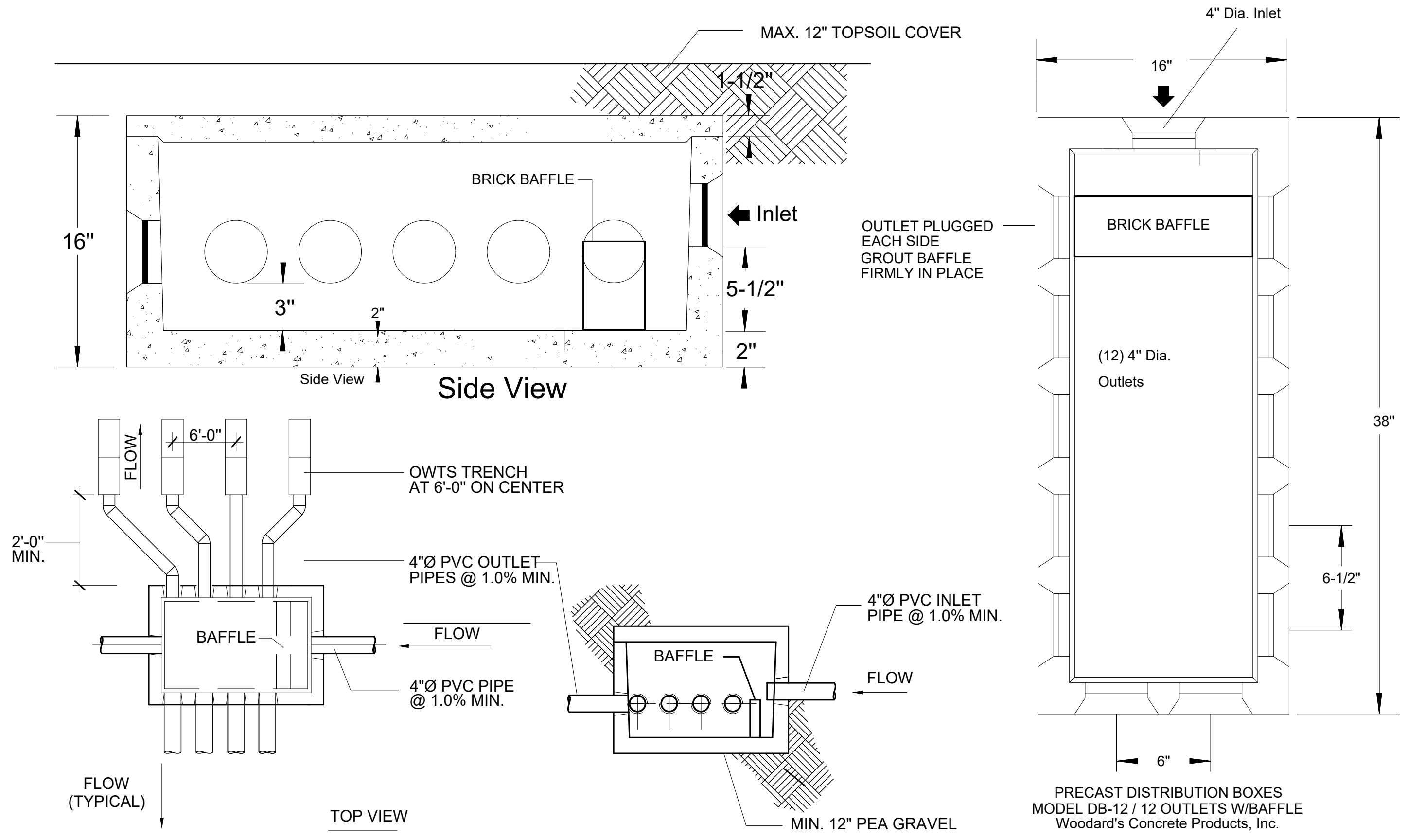


CONSTRUCTION NOTES:

1) THE CONTRACTOR SHALL SEAL PENETRATIONS IN THE SEPTIC TANK SO THAT THE SEPTIC TANK IS WATERTIGHT.
2) THE SEPTIC TANK SHALL BE CONSTRUCTED FROM CONCRETE WHICH SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT A STANDARD 28 DAY COMPRESSIVE TEST.
3) 6"x6"x10 GA. WELDED WIRE FABRIC SHALL BE USED AS REINFORCMENT FOR THE SEPTIC TANK.
4) TWO-PIECE SEPTIC TANKS SHALL BE SEALED WITH A BUTYL GASKET OR AS PER THE MANUFACTURER'S RECOMMENDATIONS.
5) THE SEPTIC TANK SHALL BE TESTED FOR WATER TIGHTNESS.

SEPTIC TANK DETAIL

SCALE: NOT TO SCALE



CONSTRUCTION NOTES:

1. A MINIMUM OF 2' OF 4"Ø SOLID PIPE SHALL BE PROVIDED PRIOR TO THE START OF THE TRENCHES.
2. ALL OUTLETS FROM THE DISTRIBUTION BOX SHALL BE AT THE SAME LEVEL TO INSURE THE EVEN DISTRIBUTION OF FLOW.
3. ALL UNUSED OUTLETS MUST BE PLUGGED.
4. A BRICK BAFFLE SHALL BE PLACE AT THE INLET OPENING OF THE D-BOX.
5. A BEDDING OF 12" OF PEA GRAVEL SHALL BE PROVIDED UNDER THE D-BOX.
6.THE INVERT ON THE INLET PIPE SHALL BE A MINIMUM OF 2" HIGHER THAN THE INVERT OF ANY OF THE OUTLETS.
7. A MAX. 12" OF TOPSOIL COVER SHALL BE PROVIDED. WHERE, DUE TO SITE CONDITIONS, A DISTRIBUTION BOX MUST BE GREATER THAN 12 INCHES BELOW THE SURFACE, AN EXTENSION COLLAR SHALL BE INSTALLED TO WITHIN 12 INCHES OF THE SURFACE.
8. DISTRIBUTION BOXES MAY BE CONSTRUCTED IN PLACE OR PURCHASED PREFABRICATED. WHEN CONCRETE IS USED TO CONSTRUCT BOXES, IT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAY SET.
9. SPEED LEVELERS SHALL BE PROVIDED IN DISTRIBUTION BOX.
10. BRICK BAFFLE TO BE GROUTED SECURELY IN PLACE.

TYPICAL DROP BOX DETAIL

SCALE: NOT TO SCALE

STANDARD NOTES FOR RESIDENTIAL PROJECTS (ONSITE SEWAGE DISPOSAL & CENTRAL WATER)

THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

"APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."

"NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS", NYSDEC

"RESIDENTIAL ONSITE WASTEWATER TREATMENT SYSTEMS, DESIGN HANDBOOK", NEW YORK STATE DEPARTMENT OF HEALTH.

"RECOMMENDED STANDARDS FOR WATER WORKS (TEN STATES)."

"PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT", NEW YORK STATE DEPARTMENT OF HEALTH.

"NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION POLICIES, PROCEDURES AND STANDARDS."

"DUTCHESS COUNTY AND NEW YORK STATE SANITARY CODES."

"DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION CERTIFICATE OF APPROVAL LETTER."

THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES; AND, AS A CONDITION OF THIS APPROVAL, A CONSTRUCTION INSPECTION BY A REPRESENTATIVE OF THE DC EHSD SHALL BE DONE TO DETERMINE THAT CONSTRUCTION AT THE TIME OF INSPECTION WAS COMPLETED IN GENERAL CONFORMANCE WITH THE APPROVED PLANS AND ANY AMENDMENT THEREOF.

UPON COMPLETION OF THE WATER SYSTEM FACILITIES, THE FINISHES WORKS SHALL BE INSPECTED, TESTED AND CERTIFIED COMPLETE TO THE DC EHSD BY THE NEW YORK STATE REGISTERED DESIGN PROFESSIONAL SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE DC EHSD.

APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF 5 YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL, THE PLAN(S) SHALL BE RE-SUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL. RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.

THE DC EHSD SHALL BE CONTACTED PRIOR TO THE COMMENCEMENT OF THE HOME CONSTRUCTION AND/OR ISSUANCE OF A BUILDING PERMIT FOR A PRE-CONSTRUCTION INSPECTION TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.

ALL WELLS AND ONSITE WASTEWATER TREATMENT SYSTEMS, EXISTING OR APPROVED, LOCATED WITHIN 300 FEET OF THE EXISTING WELLS AND PROPOSED ONSITE WASTEWATER TREATMENT SYSTEM ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE ONSITE WASTEWATER TREATMENT SYSTEM AND WELL.

IF THE TANK IS DELIVERED TO THE SITE IN SECTIONS, THEN IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE DC EHSD FIELD INSPECTOR AND/OR DESIGN PROFESSIONAL THAT THE TANK IS SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AT A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THE TANK MUST ALSO MEET ANY LOCAL TESTING REQUIREMENTS, INCLUDING POSSIBLE ELECTRICAL AND SAFETY STANDARDS.

ALL PROPOSED SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.

NO CELLAR, FOOTING, FLOOR, GARAGE, COOLER OR ROOF DRAINS SHALL BE DISCHARGED INTO THE ONSITE WASTEWATER TREATMENT SYSTEM.

ALL BUILDINGS SHALL BE CONSTRUCTED AT AN ELEVATION HIGH ENOUGH TO ENSURE GRAVITY FLOW TO THE ONSITE WASTEWATER TREATMENT SYSTEM.

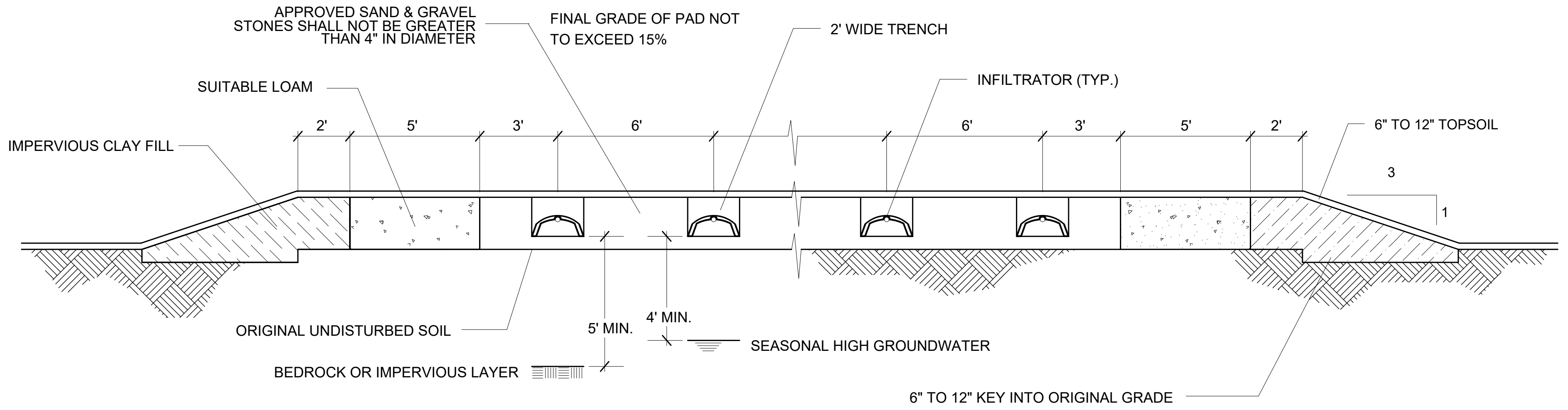
THERE SHALL BE NO VEHICULAR TRAFFIC OVER THE ONSITE WASTEWATER TREATMENT SYSTEM. PRIOR TO CONSTRUCTION, THE AREA OF THE SYSTEM SHALL BE STAKED OUT AND FENCED OFF.

ONSITE WASTEWATER TREATMENT SYSTEMS SHALL NOT BE INSTALLED IN WET OR FROZEN SOIL.

ALL REQUIRED EROSION & SEDIMENT CONTROL AND STORMWATER POLLUTION PREVENTION WATER QUALITY & QUANTITY CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.

ALL SERVICE LINES ARE THE RESPONSIBILITY OF THE HOMEOWNER UP TO THE PROPERTY LINE. THE WATER COMPANY SHALL BE RESPONSIBLE FOR ALL VALVES AND PIPES WHICH ARE NOT ON THE HOMEOWNER'S PROPERTY.

THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

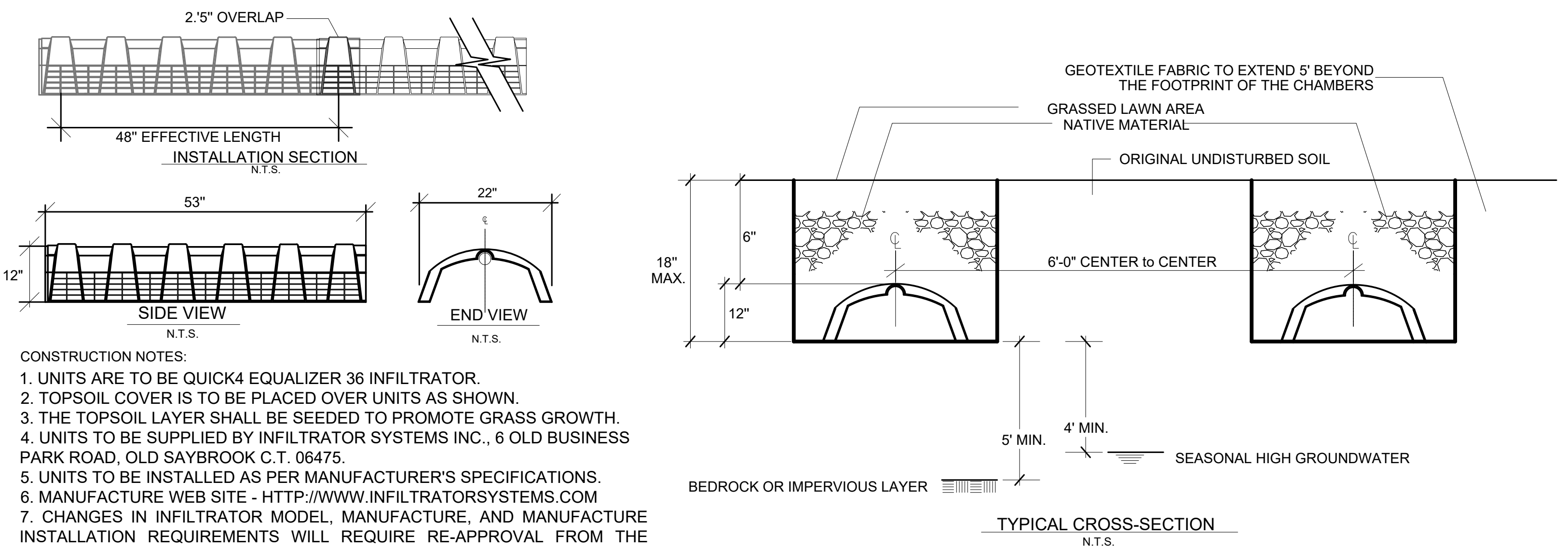


CONSTRUCTION NOTES:

1) FILL SHALL BE SAND AND GRAVEL FILL, WITH A STABILIZED PERCOLATION RATE WHICH IS LESS THAN OR EQUIVALENT TO THE PERCOLATION RATE OF THE VIRGIN SOIL, AND NO MORE 15 MINUTES PER INCH. THE DESIGN ENGINEER SHALL CERTIFY IN WRITING THAT THE FILL MATERIAL IS IN THE PROPER PLACE, IS OF THE PROPER QUANTITY AND DIMENSIONS, AND IS OF PROPER QUALITY. PROPER QUALITY MUST BE DEMONSTRATED BY STABILIZED PERCOLATION TESTS, THE RESULTS OF WHICH SHALL BE SUBMITTED WITH THE ENGINEER'S CERTIFICATION.
2) LATERALS TO BE PLACED 6' ON CENTERS WITH THE LIMITS OF THE GRAVEL 3' BEYOND THE CENTER OF THE TRENCH.
3) THE CLAY FILL TO BE OF AN IMPERVIOUS NATURE AND PLACED BEYOND THE LIMITS OF GRAVEL.
4) THE SYSTEM SHALL NOT BE INSTALLED IN WET OR FROZEN SOIL.
5) A NYSPE SHALL CERTIFY THE INSTALLATION OF THE CLAY KEY TO THE DCHD.

FILL PAD DETAIL

SCALE: NOT TO SCALE



CONSTRUCTION NOTES:

1. UNITS ARE TO BE QUICK4 EQUALIZER 36 INFILTRATOR.
2. TOPSOIL COVER IS TO BE PLACED OVER UNITS AS SHOWN.
3. THE TOPSOIL LAYER SHALL BE SEEDED TO PROMOTE GRASS GROWTH.
4. UNITS TO BE SUPPLIED BY INFILTRATOR SYSTEMS INC., 6 OLD BUSINESS PARK ROAD, OLD SAYBROOK C.T. 06475.
5. UNITS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
6. MANUFACTURE WEB SITE - HTTP://WWW.INFILTRATORSYSTEMS.COM
7. CHANGES IN INFILTRATOR MODEL, MANUFACTURE, AND MANUFACTURE INSTALLATION REQUIREMENTS WILL REQUIRE RE-APPROVAL FROM THE DCHD.
8. INFILTRATORS ARE TO BE SET LEVEL.
9. A SPLASH PAD TO BE PROVIDED IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS
10. ENDS OF INFILTRATORS TO BE CAPPED

TYPICAL INFILTRATOR DETAIL

SCALE: NOT TO SCALE

SOIL TEST SCHEDULE

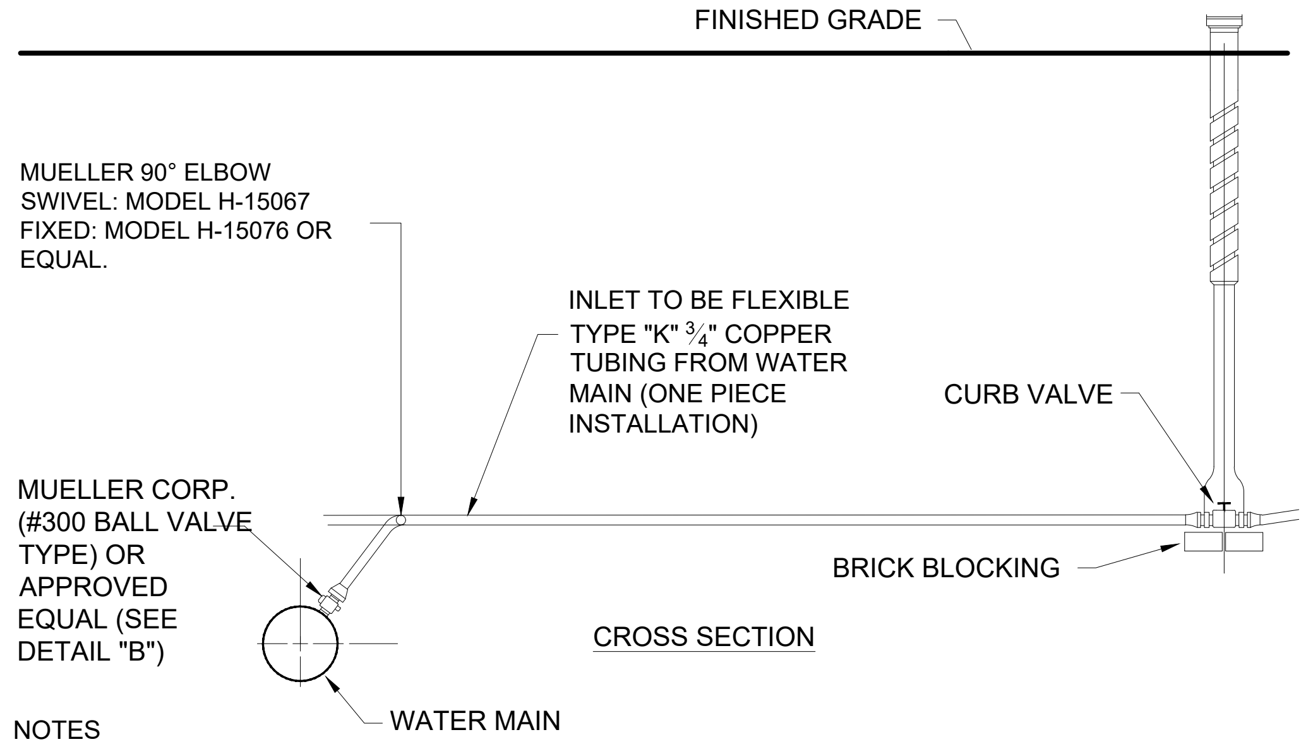
DEEP TEST PITS			PERC TESTS								
LOT NUMBER	DTP No.	SOIL DESCRIPTION	PT No.	RUN NUMBER 1	2	3	4	5	PRESOAKED	DEPTH	LOT NUMBER
2	1	TD = 8'-6", 8" TOP SOIL, BAL = 3' SILTY CLAY LOAM TO HARDPAN	1	48	52	52	-	-	6/24/02	29"	2
2	2	TD = 7'-8", 6" TOP SOIL, BAL = 3'-6" SILTY CLAY LOAM TO HARDPAN	2	39	46	46	-	-	6/24/02	29"	2
3	1	TD = 8'-0", 5" TOP SOIL, BAL = 4' SILTY CLAY LOAM TO HARDPAN	1	44	48	52	52	-	6/24/02	29"	3
3	2	TD = 8'-0", 6" TOP SOIL, BAL = 3' SILTY CLAY LOAM TO HARDPAN	2	46	47	49	49	-	6/24/02	29"	3
2	A	TD = 7'-0", 6" TOP SOIL, BAL = TIGHT CLAY LOAM	A	32	40	46	46	46	11/7/05	24"	2
2	B	TD = 7'-0", 6" TOP SOIL, BAL = TIGHT CLAY LOAM	B	46	48	52	52	52	11/7/05	24"	2

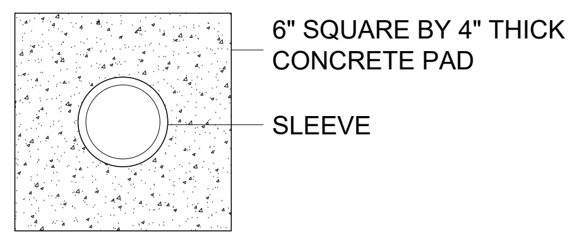
DEEP TESTS 1 AND 2 PERFORMED ON JUNE 19, 2003. DEEP TESTS A AND B PERFORMED ON NOVEMBER 3, 2005. DEEP SOIL TESTS A AND B WITNESSED BY MR. PETER MARLOW, P.E. OF THE DUTCHESS COUNTY DEPARTMENT OF HEALTH.

PERCOLATION TESTS 1 AND 2 PERFORMED ON THE DAY OF JUNE 25, 2002. PERCOLATION TESTS A AND B PERFORMED ON THE DAY OF NOVEMBER 8, 2005. TEST HOLES PREDUG AND PRESOAKED 24 HOURS EARLIER AS PER DCHD REQUIREMENTS.

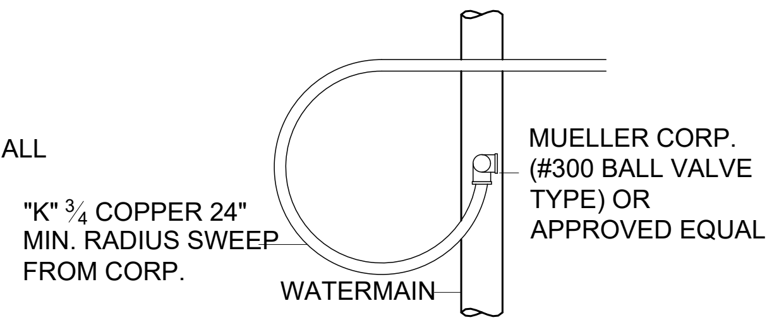
TILE FIELD SCHEDULE

LOT NUMBER	TILE FIELD LENGTH FOR 3 BEDROOM	TILE FIELD LENGTH FOR 4 BEDROOM	MIN. FILL REQUIRED	TRENCH WIDTH	LATERAL SPACING	DROP BOX	CURTAIN DRAIN	DISPOSAL SYSTEM	MIN. RAW INVERT	SEPTIC TANK SIZE 3 BEDROOM	SEPTIC TANK SIZE 4 BEDROOM	No. & LENGTH OF LATERALS 3 BEDROOM	No. & LENGTH OF LATERALS 4 BEDROOM	LOT NUMBER
2	312 L.F.	392' L.F.	4'-6"	2'-0"	6'-0"	--	--	FILL PAD	323.6	1,000 GAL	1,250 GAL	5 LATS @ 56' EA	7 LATS @ 56' EA	2
3	312 L.F.	392' L.F.	4'-6"	2'-0"	6'-0"	--	--	FILL PAD	315.5	1,000 GAL	1,250 GAL	5 LATS @ 56' EA	7 LATS @ 56' EA	3





DETAIL "A" - PLAN



DETAIL "B" - PLAN

NOTES

BACKFILL ALL AREAS IN ACCORDANCE WITH THE APPROPRIATE TRENCH DETAIL.

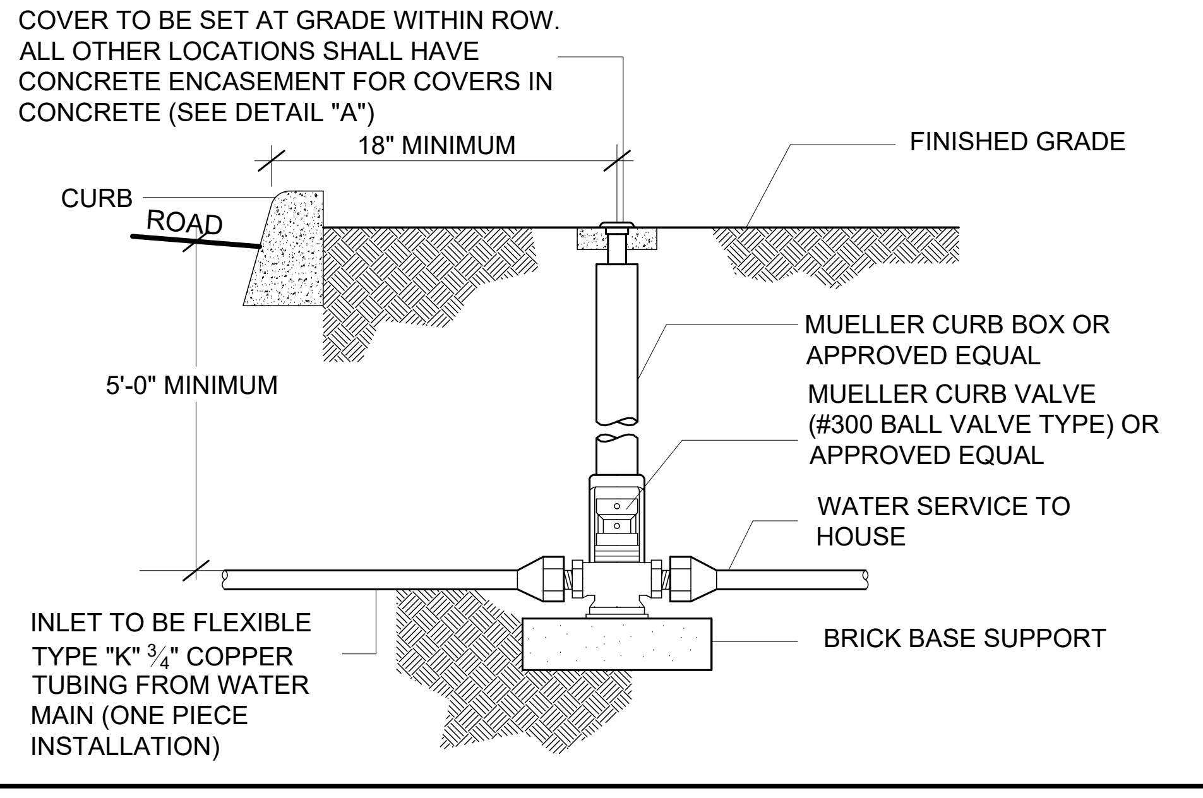
BEFORE ISSUANCE OF A C.O., MEASUREMENTS BETWEEN THE VALVE BOX COVER AND HOUSE CORNERS SHALL BE SUBMITTED TO THE TOWN.

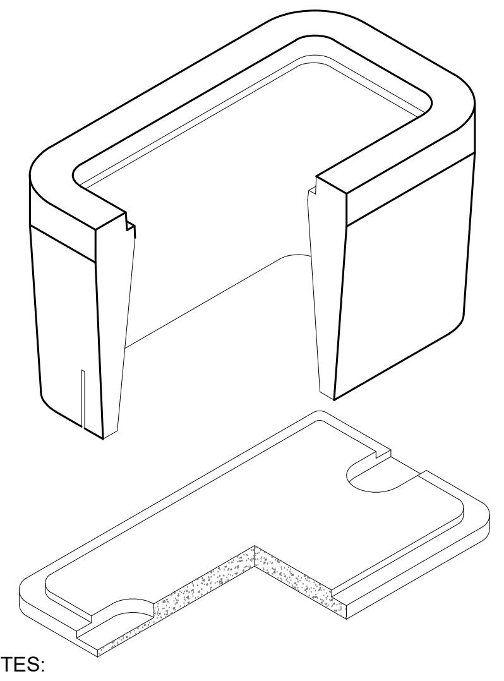
BACKFILL AROUND VALVE BOXES SHALL BE APPROVED R.O.B. GRAVEL, EXTENDING 12" MINIMUM AROUND OUTSIDE OF STRUCTURE TO THE BOTTOM OF THE APPROPRIATE TOP TREATMENT.

ALL FITTINGS TO BE COMPRESSION TYPE.

TYPICAL WATER SERVICE CONNECTION DETAILS

SCALE: NOT TO SCALE



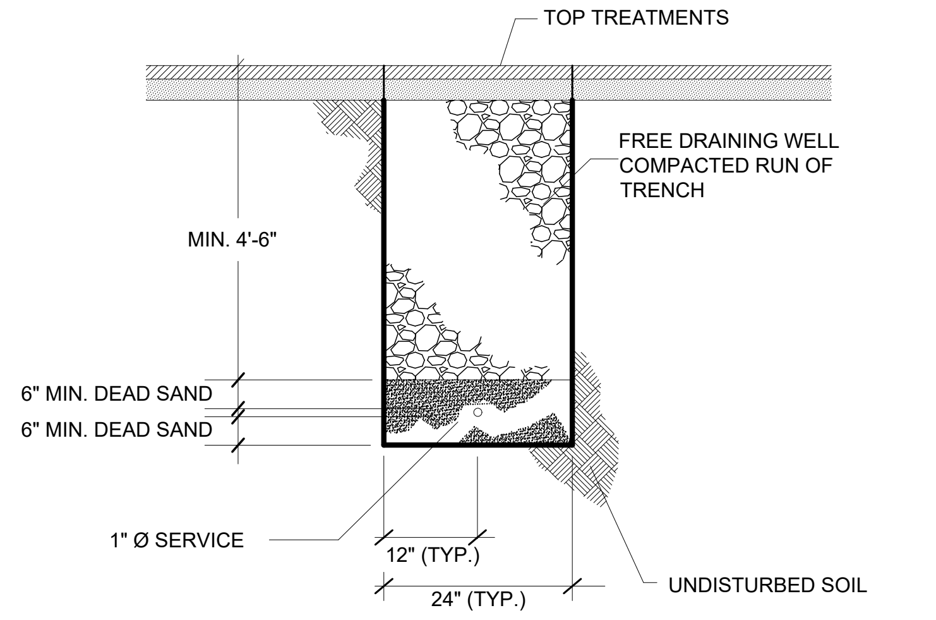


NOTES:

1. RESIDENTIAL VALVE BOX TO BE INSTALLED ON LOT #2 AND #3.
2. VALVE BOXES SHALL CONFORM TO MANCHESTER WATER DISTRICT STANDARDS.
3. REFER TO WATER METER NOTES CHAPTER 234, WATER LINES, METERS AND USAGE § 234-42. METERS.

RESIDENTIAL METER BOX

SCALE: NOT TO SCALE

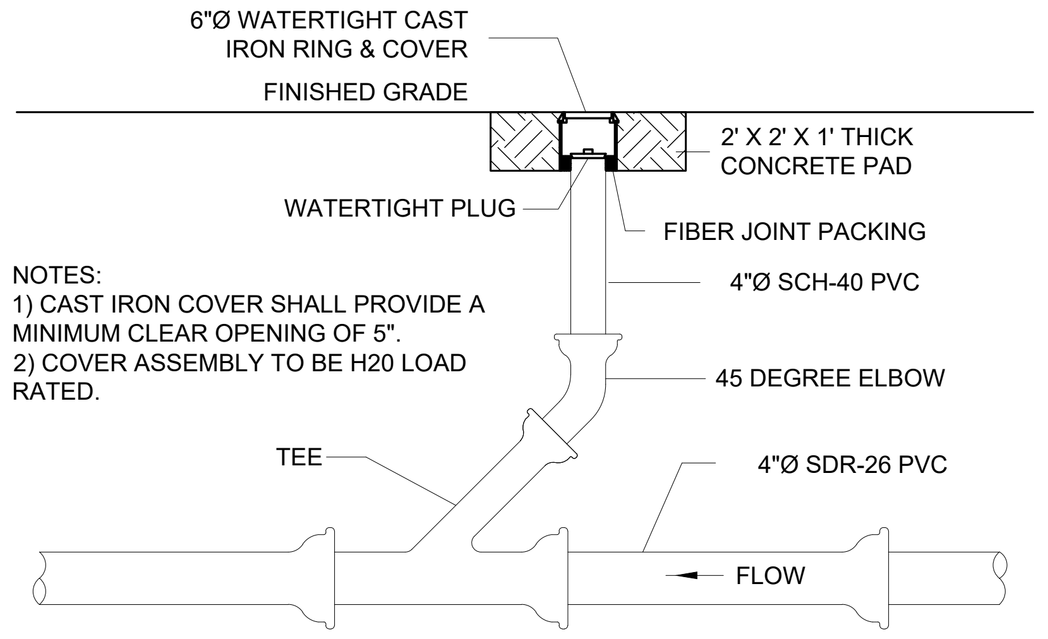


CONSTRUCTION NOTES

1. DEAD SAND SHALL BE INSTALLED IN 6" (MAX.) LIFTS AND BE MECHANICALLY COMPACTED.
2. THE RUN OF THE TRENCH BACK FILL SHALL BE FREE FROM COBBLES, FROZEN SOIL OR ANY ORGANIC MATERIAL.
3. THE RUN OF THE TRENCH MATERIAL SHALL BE INSTALLED IN 8" (MAX.) LIFTS AND MECHANICALLY COMPACTED.
4. IN THE EVEN THAT THE CONDUIT IS BEING INSTALLED IN WET CONDITIONS, 3/4" CRUSHED STONE IS TO BE USED IN LIEU OF DEAD SAND.

WATER SERVICE TRENCH DETAIL

SCALE: NOT TO SCALE



NOTES:

1) CAST IRON COVER SHALL PROVIDE A MINIMUM CLEAR OPENING OF 5".
2) COVER ASSEMBLY TO BE H20 LOAD RATED.

TYPICAL CLEAN OUT DETAIL

SCALE: NOT TO SCALE

OWNER CONSENT

THE UNDERSIGNED OWNER(S) OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER ______________ DATE ______

TOWN OF WAPPINGER PLANNING BOARD

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGERS, NEW YORK ON THE _______________ DAY OF______ ___________, 2023 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.
TOWN OF WAPPINGER PLANNING BOARD

SIGNED THIS_____________ DAY OF _________________________, 2023

TOWN OF WAPPINGER PLANNING BOARD CHAIR

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

MAY 07, 2023 APRIL 15, 2023 FEBRUARY 9, 2023 Revisions	Brian J. Stokosa, PE 083970
Project No. 2022:478	License No. 083970

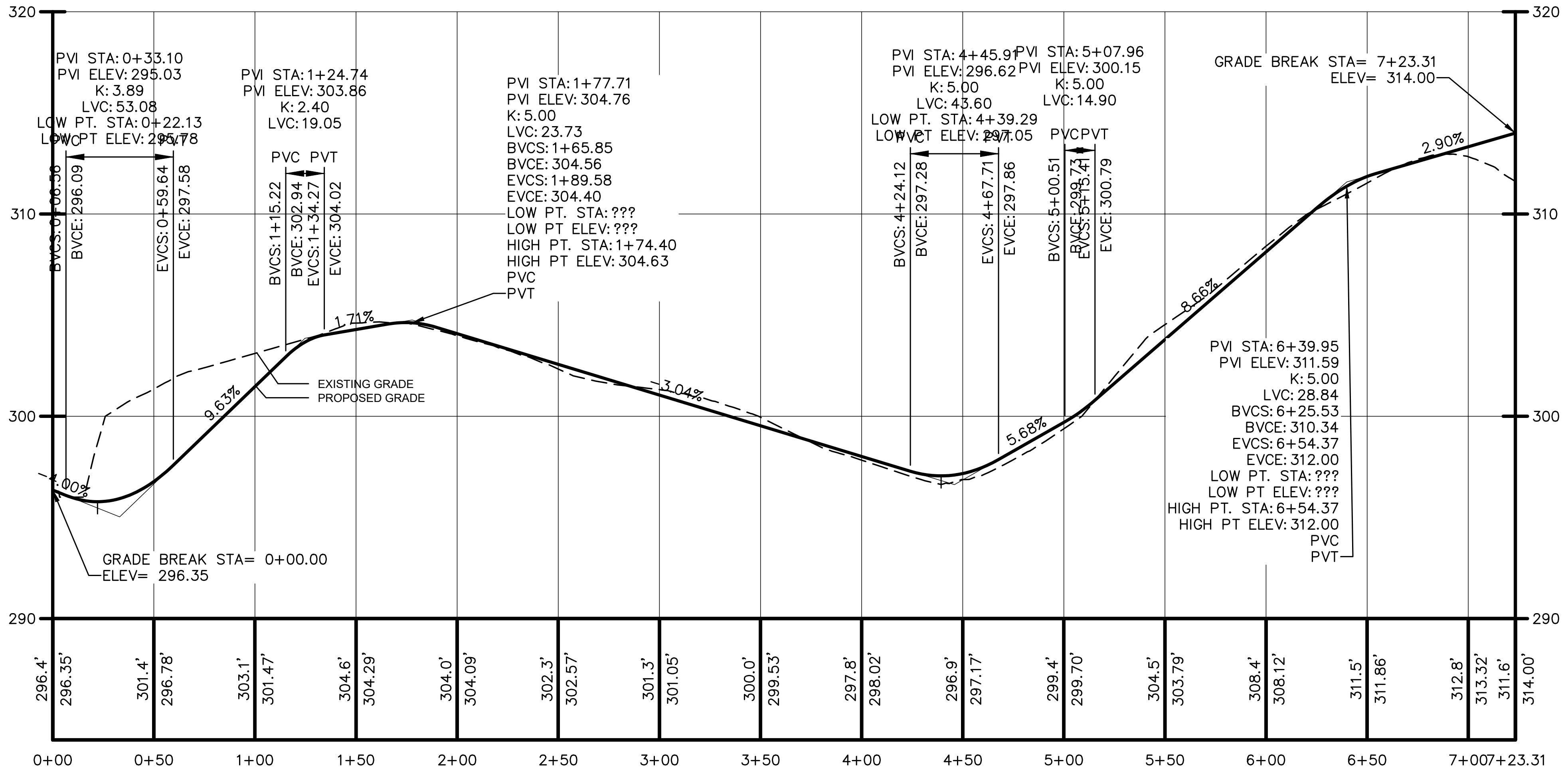
DAY | STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT
TORREGROSSA SUBDIVISION
Town of Wappinger — Dutchess County, New York

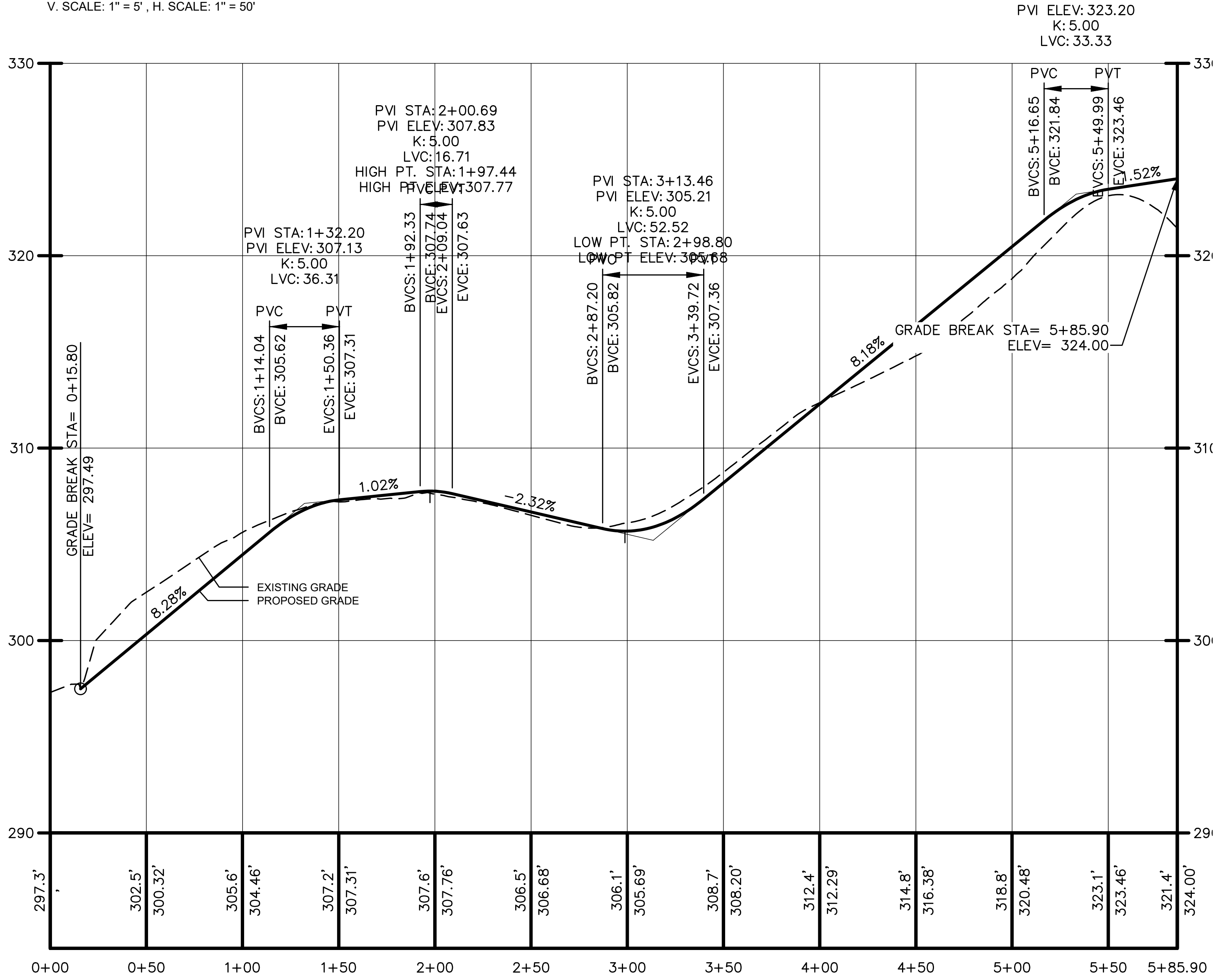
DRAWING
DCHD DETAILS

SCALE	DRAWN BY	DRAWING No.
AS NOTED	BJS	4
DATE	CHECKED BY	
11-22-22	BJS	4 of 7



ENTRANCE - LOT #3 DRIVEWAY PROFILE

V. SCALE: 1" = 5' , H. SCALE: 1" = 50'



ENTRANCE - LOT #2 DRIVEWAY PROFILE

V. SCALE: 1" = 5' , H. SCALE: 1" = 50'

DRIVEWAY NOTES:

ALL DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING DESIGN STANDARDS AS SET FORTH BY THE TOWN OF WAPPINGER:

A) THE MAXIMUM GRADE SHALL BE 12%.

B) ALL DRIVEWAYS SHALL BE CONSTRUCTED SUCH THAT A POSITIVE GRADE (BETWEEN 2 AND 4%) IS ACHIEVED TO A POINT NOT LESS THAN 25 FEET FROM THE EDGE OF PAVEMENT. HOWEVER, PER DUTCHESS COUNTY DEPARTMENT OF PUBLIC WORKS REQUIREMENTS, THERE IS A NEGATIVE PITCH FROM THE COUNTY ROAD INTO THE SITE (SEE PROFILES THIS SHEET).

C) THE FIRST 25 FEET OF ALL DRIVEWAYS SHALL BE PAVED.

D) ALL DRIVEWAYS WITH GRADES GREATER THAN OR EQUAL TO 6% AND/OR LENGTHS OF GREATER THAN 250 FEET SHALL BE PAVED FOR THEIR ENTIRE LENGTH.

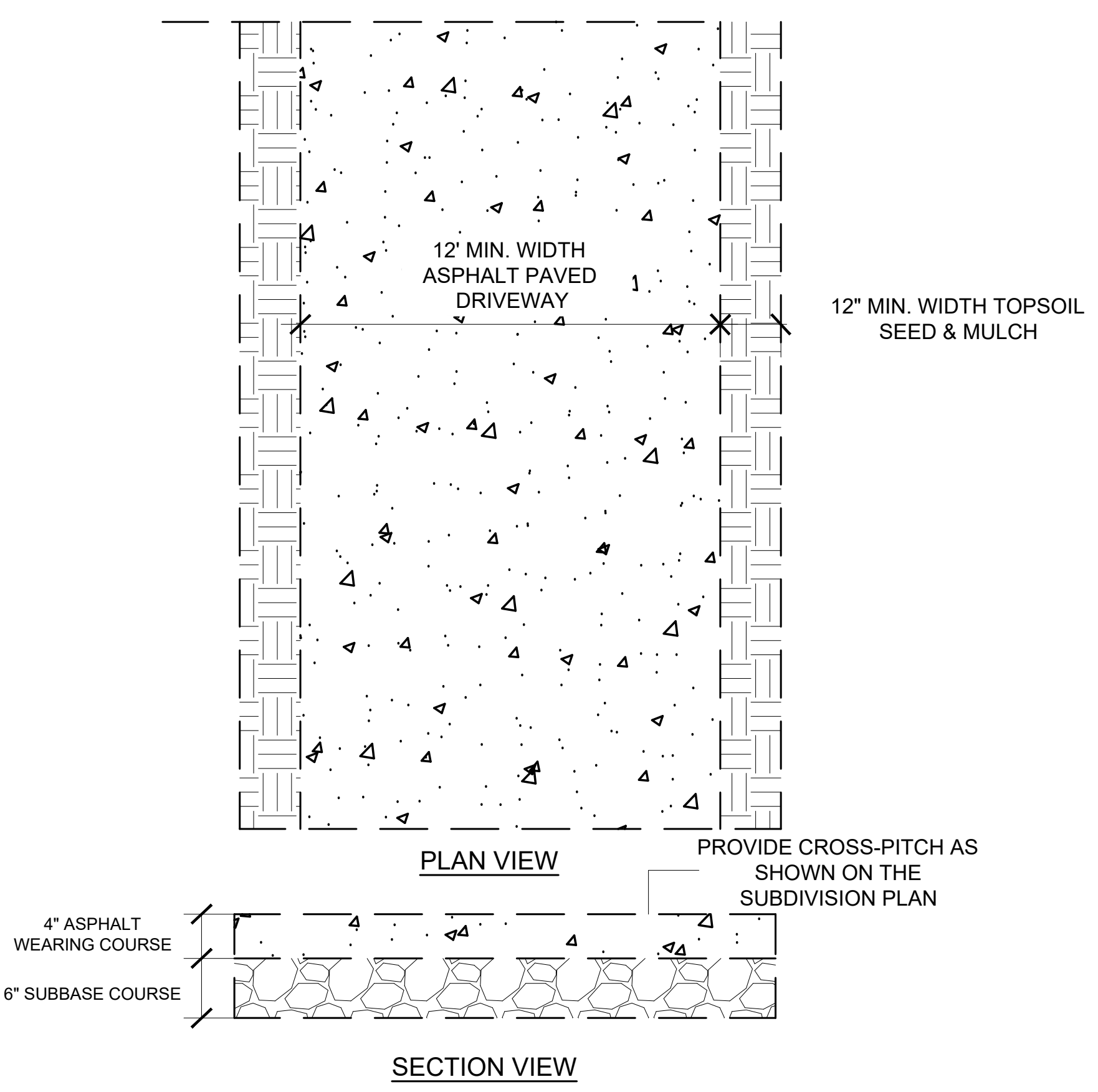
E) DRIVEWAY REQUIREMENTS PER TOWN OF WAPPINGER ZONING CODE SECTION 240-100E: DRIVEWAYS AND ACCESS ROADS SHALL BE SO DESIGNED AS TO PROVIDE FIRE DEPARTMENT APPARATUS ACCESS TO WITHIN A DISTANCE OF SEVENTY-FIVE (75) FEET OR LESS OF THE STRUCTURE THAT MAY BE CALLED UPON TO BE PROTECTED AND SUCH DRIVEWAYS AND ACCESS ROADS SHALL BE DESIGNED SO AS TO MEET THE FOLLOWING REQUIREMENTS:

(1) DRIVEWAYS UNDER FIVE HUNDRED (500) FEET LONG SHALL HAVE A MINIMUM WIDTH OF TWELVE (12) FEET; DRIVEWAYS OVER FIVE HUNDRED (500) FEET LONG SHALL HAVE A MINIMUM WIDTH OF TWELVE (12) FEET AND, IN ADDITION, SHALL HAVE A FIFTY (50) FOOT BY TWELVE (12) FOOT PULL-OFF EVERY FIVE HUNDRED (500) FEET TO ACCOMMODATE A FORTY (40) FOOT LONG PIECE OF FIRE FIGHTING APPARATUS.

(2) THE DRIVEWAYS SHALL HAVE AND MAINTAIN AN OVERHEAD CLEARANCE OF FIFTEEN (15) FEET, FREE OF ANY OBSTRUCTIONS SUCH AS TREE BRANCHES, PERSONAL LIGHT POLES, UTILITY WIRES, ETC.

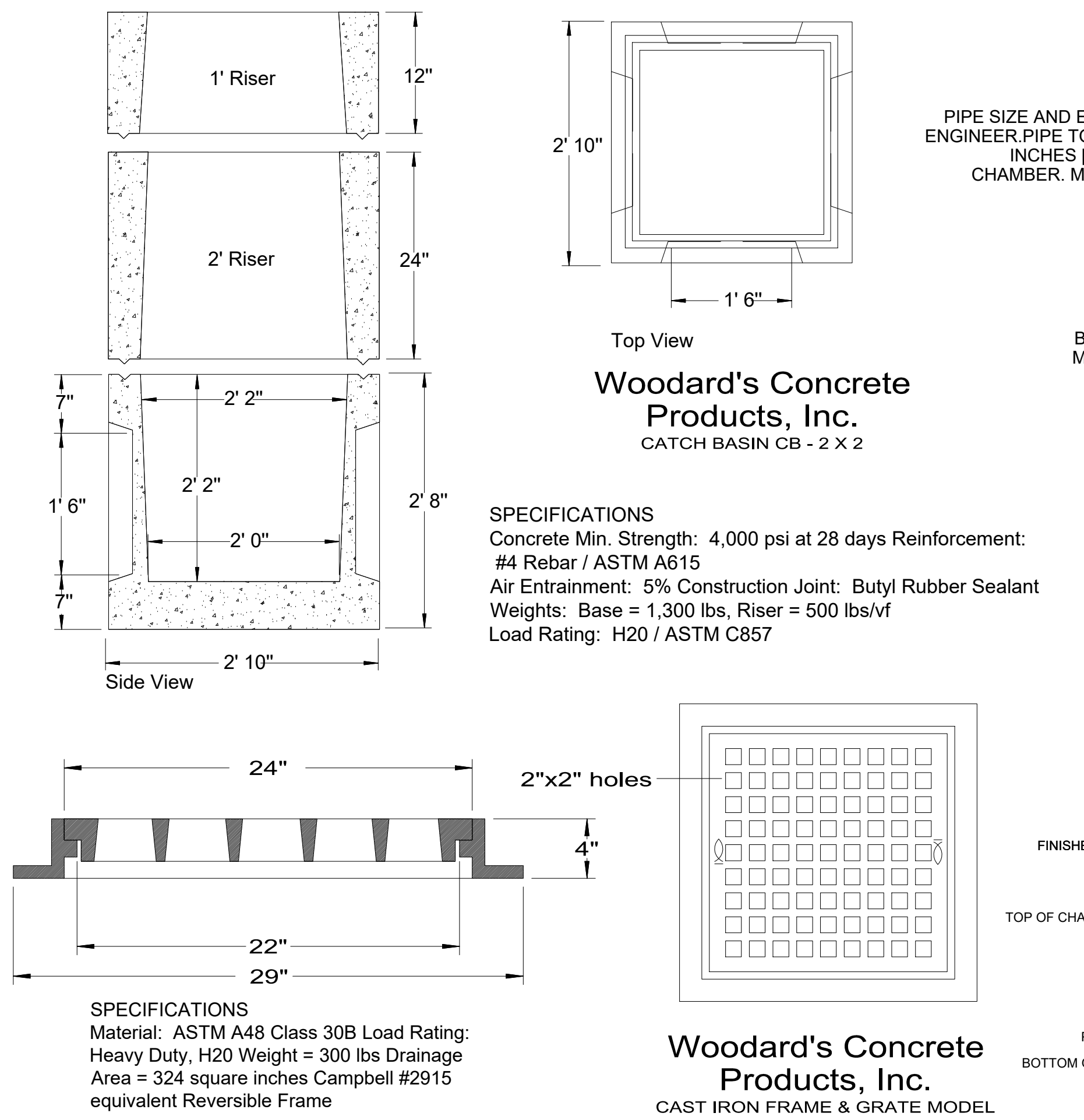
(3) THE DRIVEWAY BASE SHALL BE SUFFICIENT TO SUPPORT A THIRTY (30) TON FIRE FIGHTING APPARATUS.

(4) NO TURNS SHALL BE OF SUCH A DEGREE AS TO PREVENT ACCESS OF FIRE DEPARTMENT APPARATUS.



DRIVEWAY ENTRANCE NOTES AND DETAILS

NOT TO SCALE



Woodard's Concrete Products, Inc.
CATCH BASIN CB - 2 X 2

SPECIFICATIONS
Concrete Min. Strength: 4,000 psi at 28 days Reinforcement: #4 Rebar / ASTM A615
Air Entrainment: 5% Construction Joint: Butyl Rubber Sealant
Weights: Base = 1,300 lbs, Riser = 500 lbs/vf
Load Rating: H20 / ASTM C857

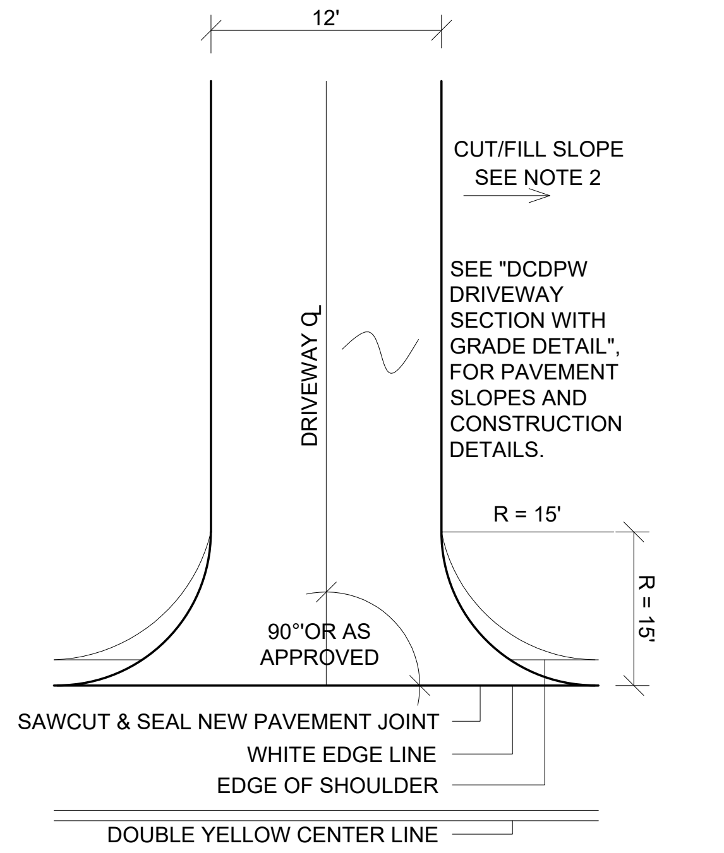
SPECIFICATIONS
Material: ASTM A48 Class 30B Load Rating: Heavy Duty, H20 Weight = 300 lbs Drainage Area = 324 square inches Campbell #2915 equivalent Reversible Frame

Woodard's Concrete Products, Inc.
CAST IRON FRAME & GRATE MODEL GRATE-24X24X4

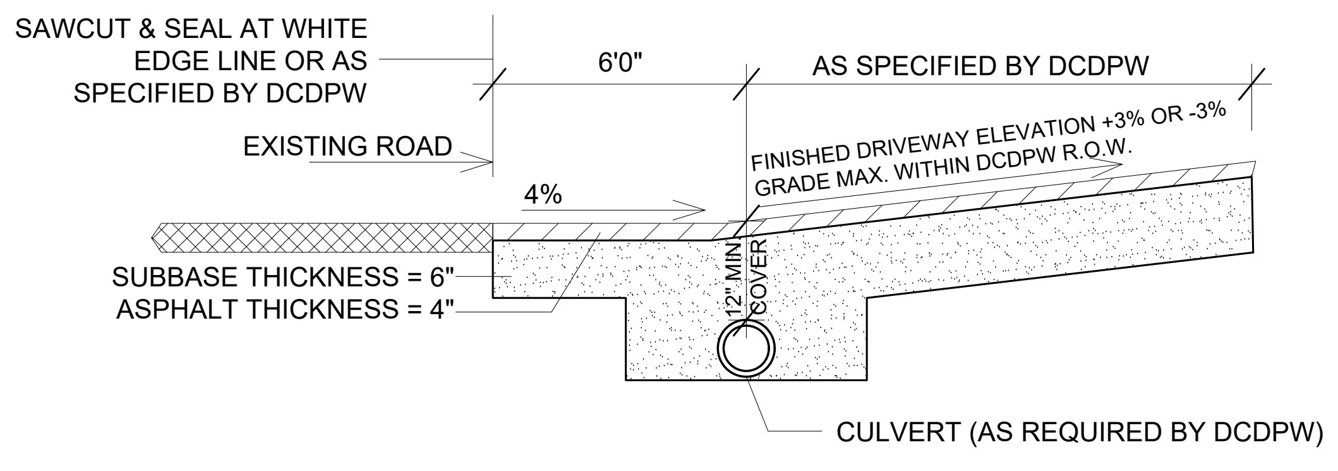
TYPICAL YARD DRAIN DETAILS

MOT TO SCALE

SCALE: NTS



NOTES:
1. 15' RADIUS (R = 15') SHALL TERMINATE AT EDGE OF SHOULDER OR WHITE LINE AS DIRECTED BY DCDPW.
2. CUT/FILL SLOPES SHALL BE CONSTRUCTED NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL (2:1). DCDPW SHALL EVALUATE CUT/FILL SLOPES FOR ACCEPTABILITY.

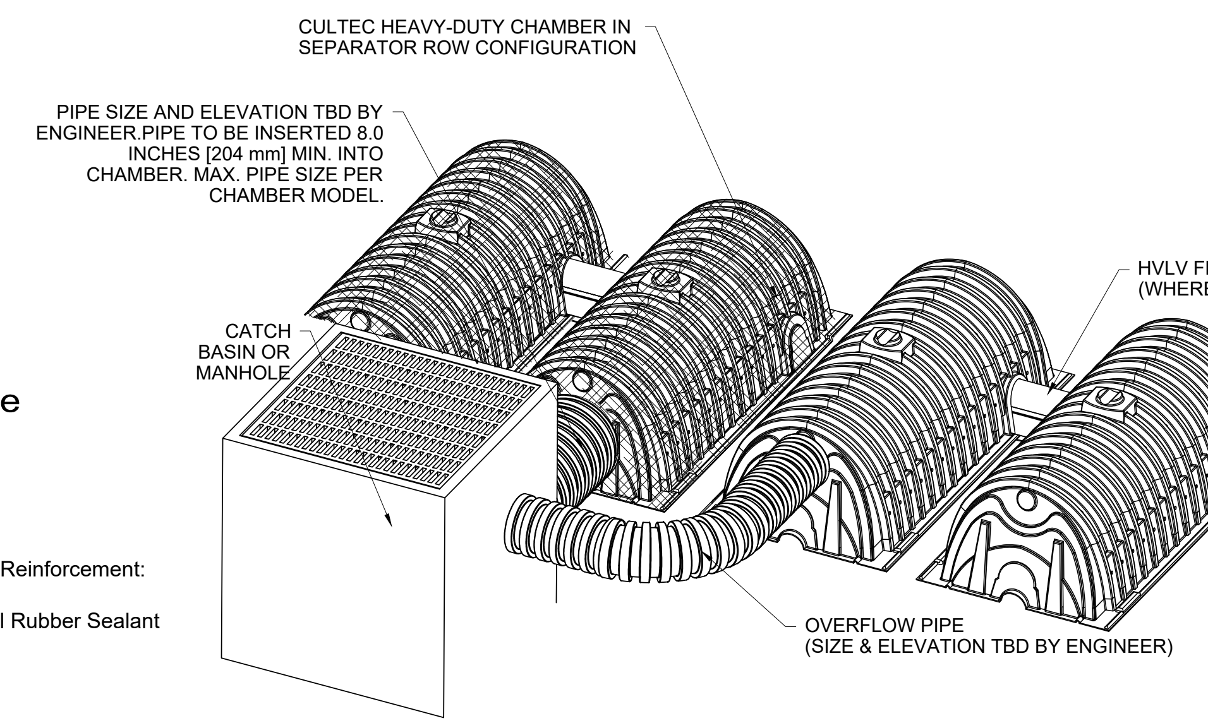


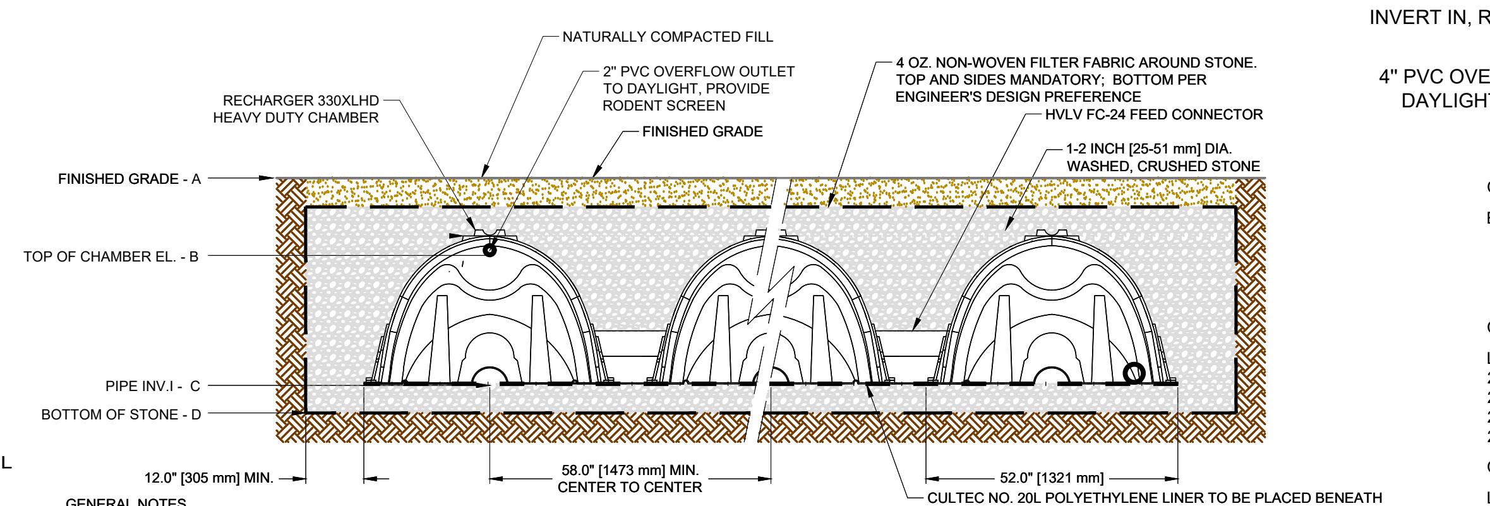
CONSTRUCTION NOTES:
1. ASPHALT IS TO BE PLACED IN 2" LIFTS.
2. CULVERT PIPE IS TO BE MADE OF A SMOOTH INTERIOR CORRUGATED PLASTIC PIPE (SICPP) WITH A MIN. DIAMETER OF 12" AND A 1% PITCH.

ALL DRIVEWAY MATERIAL COURSES ARE FINISHED, COMPACTED THICKNESS AND SHALL CONFORM TO NYSDOT PAVEMENT MATERIAL SPECIFICATIONS.

DCDPW DRIVEWAY SECTION WITH GRADE DETAIL

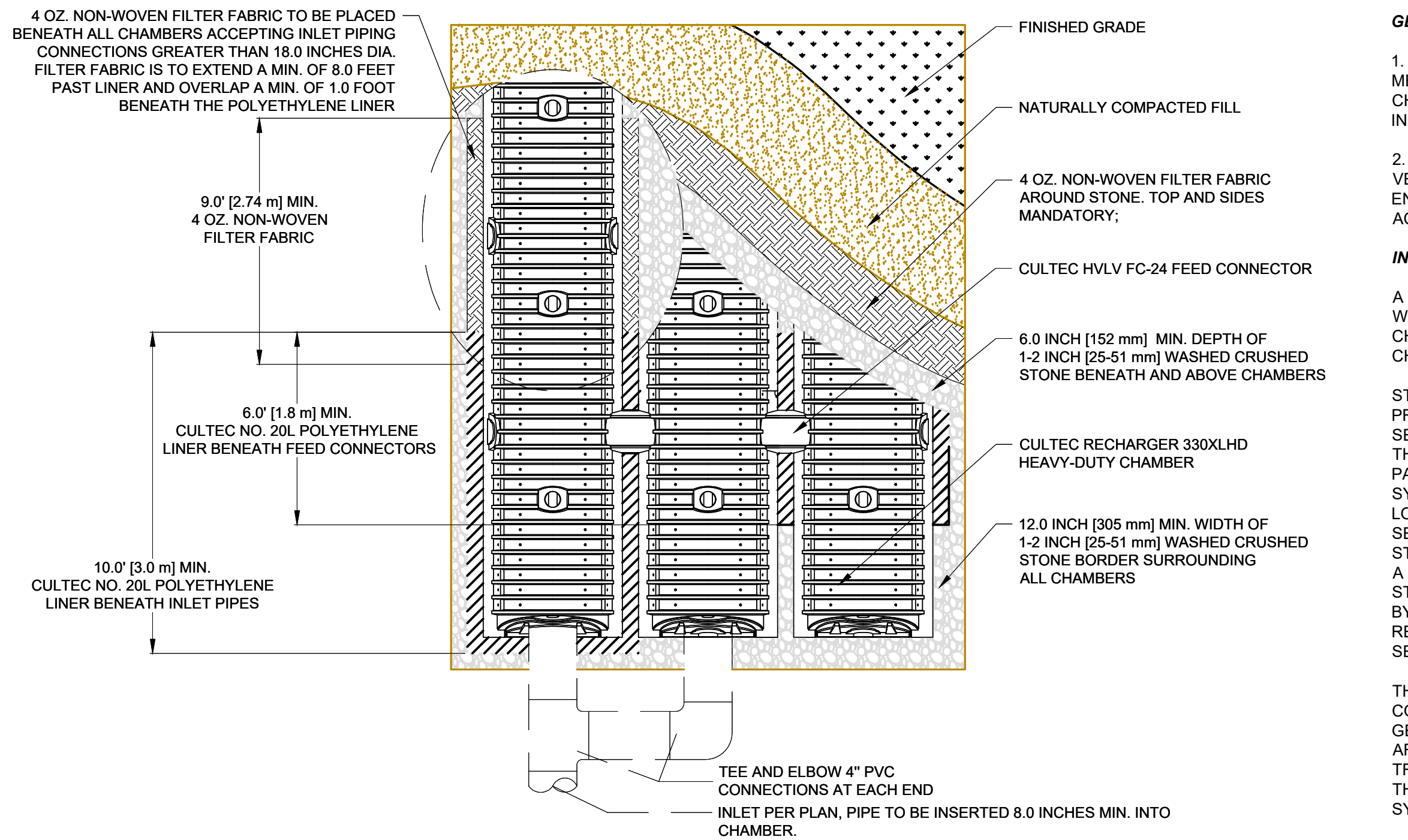
NOT TO SCALE





GENERAL NOTES
RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT.
STORAGE PROVIDED = 11.32 CF/FT [1.05 m³/m] PER DESIGN UNIT
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS

ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN

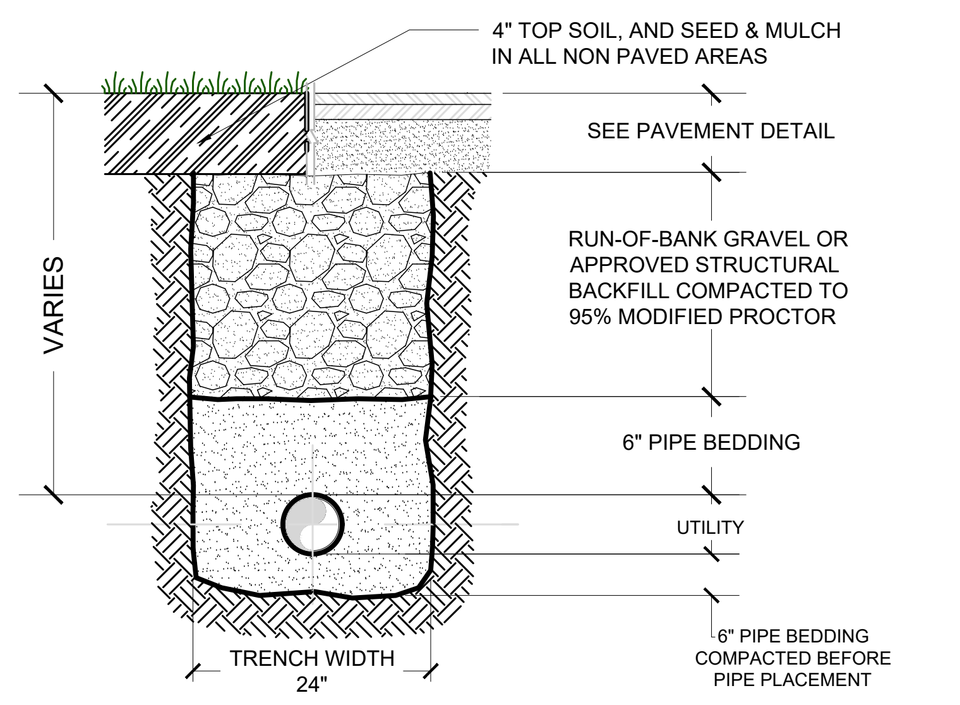


CULTEC, Inc.
Subsurface Stormwater Management Systems
P.O. Box 280
878 Federal Road
Brookfield, CT 06804
www.cultec.com
PH: (203) 775-4416
PH: (800) 4-CULTEC
FX: (203) 775-1462
tech@cultec.com

REFER TO THE MANUFACTURE WEBSITE FOR ADDITIONAL INFORMATION REGARDING INSTALLATION PROCEDURE AND MAINTENANCE REQUIREMENTS.

INFILTRATOR DETAILS

NOT TO SCALE



NOTES:
1. FILL OR BACKFILL MATERIAL SHALL BE DEPOSITED IN 12" LIFTS. EACH LIFT SHALL BE COMPACTED TO 95% STANDARD PROCTOR PRIOR TO THE PLACEMENT OF THE NEXT LIFT.
2. BACKFILLING AROUND PIPES SHALL BE DONE UNIFORMLY ON EACH SIDE OF THE PIPE.BACKFILL MATERIAL SHALL BE 1-1/2" MINUS GRADATION.
3. ALL SITE UTILITIES ARE TO BE INSTALLED BY A QUALIFIED CONTRACTOR
4. IN THE EVENT THAT THE CONDUIT IS BEING INSTALLED IN WET CONDITIONS, THE CONTRACTOR SHALL LINE THE TRENCH WITH FILTER FABRIC & BED THE PIPE IN 3/4" CRUSHED STONE INSIDE THE FILTER FABRIC.
5. BACKFILL MATERIAL SHALL BE FREE FROM ORGANICS, BOULDERS, FROZEN SOILS OR OTHER DELETERIOUS MATERIAL.

TYPICAL UTILITY TRENCH

MOT TO SCALE

OWNER CONSENT

THE UNDERSIGNED OWNER(S) OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

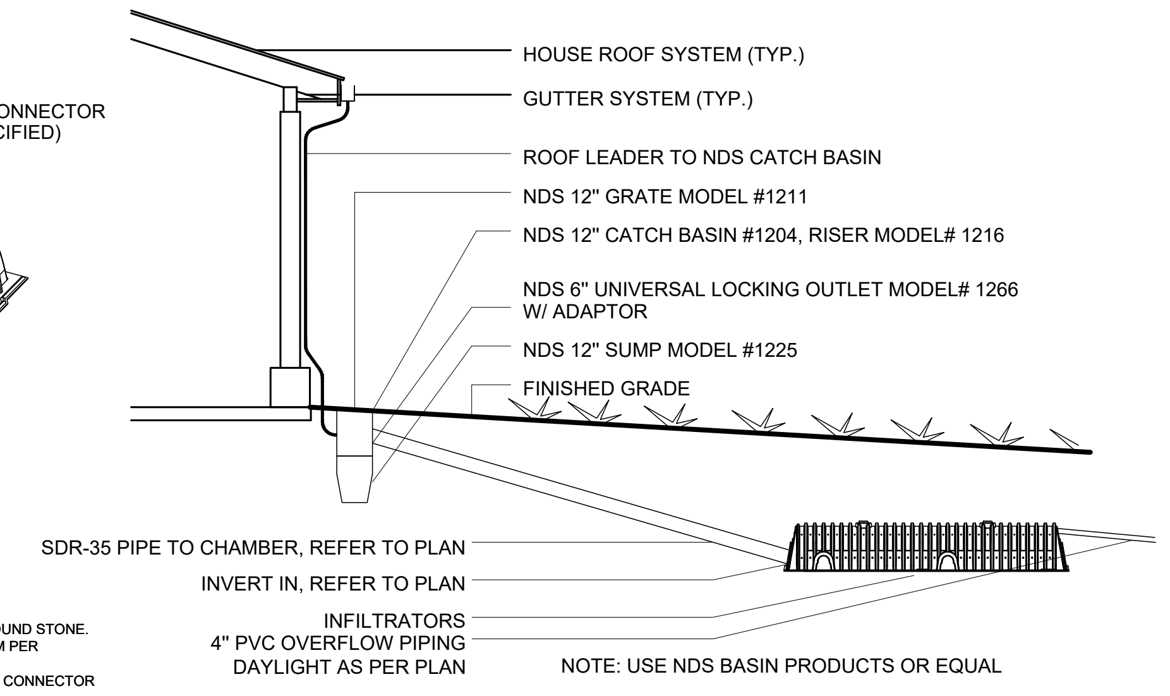
OWNER ____________ DATE ______

TOWN OF WAPPINGER PLANNING BOARD

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGERS, NEW YORK ON THE ______________ DAY OF______ ___________, 2023 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.
TOWN OF WAPPINGER PLANNING BOARD

SIGNED THIS____________ DAY OF ________________________, 2023

TOWN OF WAPPINGER PLANNING BOARD CHAIR



NOTE: USE NDS BASIN PRODUCTS OR EQUAL

CULTEC CHAMBER ELEVATION TABLE

ENTRANCE	ITEM	ELEVATION
	A	298.00
	B	295.66
	C	293.46
	D	292.96

CULTEC CHAMBER ELEVATION TABLE

LOT#	ITEM	ELEVATION
2	A	302.00
2	B	300.66
2	C	298.46
2	D	297.96

CULTEC CHAMBER ELEVATION TABLE

LOT#	ITEM	ELEVATION
3	A	298.00
3	B	296.16
3	C	293.96
3	D	296.50

SEPARATOR ROW™ SPECIFICATIONS

GENERAL

1. CULTEC'S SEPARATOR ROW IS USED AS AN INEXPENSIVE MEANS OF REMOVING TOTAL SUSPENDED SOLIDS FROM THE CHAMBER SYSTEM, AS WELL AS PROVIDING EASIER ACCESS FOR INSPECTION AND MAINTENANCE.

2. THE SEPARATOR ROW PERFORMANCE SHALL BE TESTED AND VERIFIED TO THE PROTOCOLS AND PROCEDURES AS DEFINED BY ENVIRONMENTAL TECHNOLOGY VERIFICATION (ETV) CANADA TO ACHIEVE 80% TSS REMOVAL.

INSTALLATION INSTRUCTIONS

A SEPARATOR ROW IS INSTALLED ON A 1-2 INCH [25-51 mm] WASHED, CRUSHED STONE BASE. TYPICALLY, THE CULTEC CHAMBER MODEL USED FOR THE SEPARATOR ROW IS THE SAME CHAMBER USED THROUGHOUT THE ENTIRE CHAMBER BED.

STORMWATER IS DISTRIBUTED TO THE SEPARATOR ROW BY A PRIMARY FEED SYSTEM THAT DIVERTS FLOW TO THE SEPARATOR ROW AND A SECONDARY BYPASS FEED SYSTEM THAT DIVERTS THE FLOW OF CLEAN WATER TO THE OTHER PARTS OF THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM. THE DISTRIBUTION SYSTEM MAY BE BY PIPES SET AT A LOWER ELEVATION THAT PERMIT THE FIRST FLUSH TO THE SEPARATOR ROW VERSUS OTHER PARTS OF THE UNDERGROUND STORMWATER SYSTEM. THIS INITIAL FLOW MAY BE MANAGED BY A BAFFLE OR WEIR. THE SIZING OF THE PIPE(S) THAT PROVIDE STORM WATER TO THE SEPARATOR ROW IS TO BE DETERMINED BY THE DESIGN ENGINEER AND IS BASED UPON THE REQUIREMENT TO ACCOMMODATE THE DESIGN FLOW AND SERVICE CONVENIENCE.

THE CHAMBERS UTILIZED IN THE SEPARATOR ROW ARE TO BE COMPLETELY WRAPPED WITH CULTEC NO. 410 NON-WOVEN GEOTEXTILE. THIS CREATES A PASS-THROUGH FILTER ARRANGEMENT TO SEPARATE TOTAL SUSPENDED SOLIDS IN THE TRANSFER OF STORM WATER TO OTHER CHAMBERS THROUGHOUT THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM.

ONCE WRAPPED, THE SEPARATOR ROW IS TO THEN PLACED ENTIRELY OVER 1 LAYER OF CULTEC No. 4800 WOVEN GEOTEXTILE. THIS WOVEN GEOTEXTILE PROVIDES A DURABLE SURFACE WITHIN THE ROW FOR MAINTENANCE PROCEDURES AS WELL AS TO PREVENT ANY SCOURING OF THE STONE BASE DURING HIGH PRESSURE JETTING.

THE RECOMMENDED INSTALLATION OF SEPARATOR ROW CHAMBERS, IN REGARD TO STONE SEPARATION AND STONE ABOVE THE UNIT, ALONG WITH OTHER MINIMUM BURIAL, MATERIALS AND METHOD SPECIFICATIONS DETAILED FOR THE PROPER INSTALLATION, IS THE SAME AS CULTEC'S REQUIREMENT DETAILED IN THE COMPANY'S INSTALLATION GUIDELINES WITH THE EXCEPTION OF THE PLACEMENT OF THE REQUIRED FILTERING FABRICS. PLEASE REFER TO CULTEC'S CURRENT INSTALLATION INSTRUCTIONS FOR STORMWATER CHAMBERS AS A GUIDE.

MAINTENANCE PROCEDURES

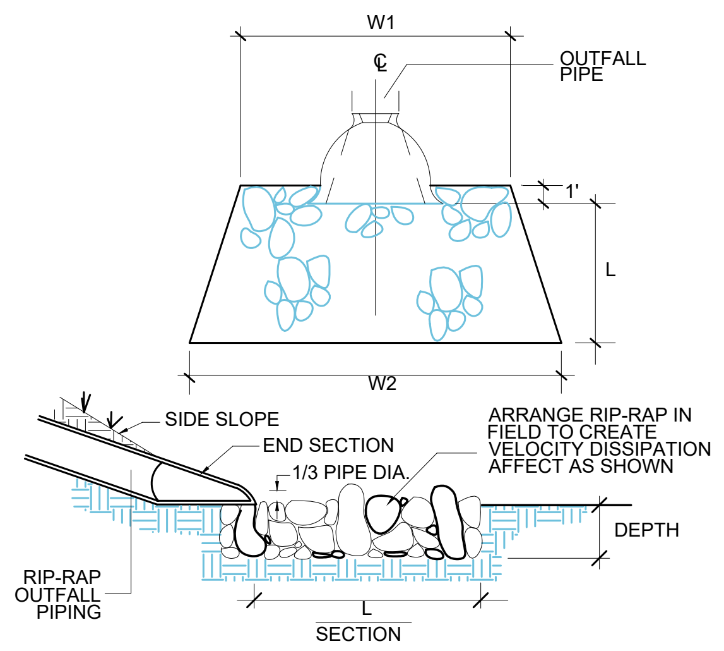
CULTEC RECOMMENDS INSPECTIONS OF THE SEPARATOR ROW TO BE PERFORMED EVERY SIX MONTHS FOR THE FIRST YEAR. THE FREQUENCY OF INSPECTION CAN THEN BE ADJUSTED BASED UPON PREVIOUS OBSERVATION OF SEDIMENT DEPOSITION.

WHILE CLEANING IS POSSIBLE FROM A SINGLE MANHOLE IN SHORTER LINES, A CLEAN-OUT OPTION FROM EITHER END OF A LINE IS PREFERABLE, PARTICULARLY FOR LONGER RUNS. CLEANING INVOLVES FLUSHING SEDIMENT FROM THE BASE FABRIC OF THE SEPARATOR ROW.

ACCESS WILL BE PROVIDED VIA A MANHOLE(S) LOCATED AT THE END(S) OF THE ROW FOR CLEAN OUT.

MAINTENANCE OF THE SEPARATOR ROW IS TO BE ACCOMPLISHED WITH A JETVAC PROCESS.

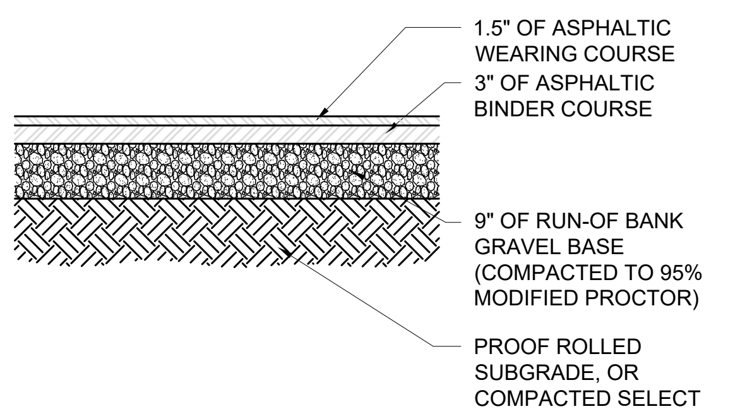
THE JETVAC IS TO BE SENT DOWN THE ENTIRE LENGTH OF THE SEPARATOR ROW. AS THE HIGH PRESSURE WATER NOZZLE IS RETRIEVED, THE CAPTURED SEDIMENTS ARE PUSHED BACK INTO THE MANHOLE FOR VACUUMING.



CULVERT	W1 (FEET)	W2 (FEET)	L (FEET)	LINING	D MAX	THICKNESS
ALL PIPE OUTLETS	3.75'	15.75'	12.0'	RIP-RAP	6"	9"

TYPICAL RIP RAP PROTECTION

SCALE: NTS



PAVEMENT DETAILS

MOT TO SCALE

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

	Brian J. Stokosa, PE
MAY 07, 2023 APRIL 15, 2023 FEBRUARY 9, 2023 Revisions	083970
Project No. 2022:478	License No. 083970

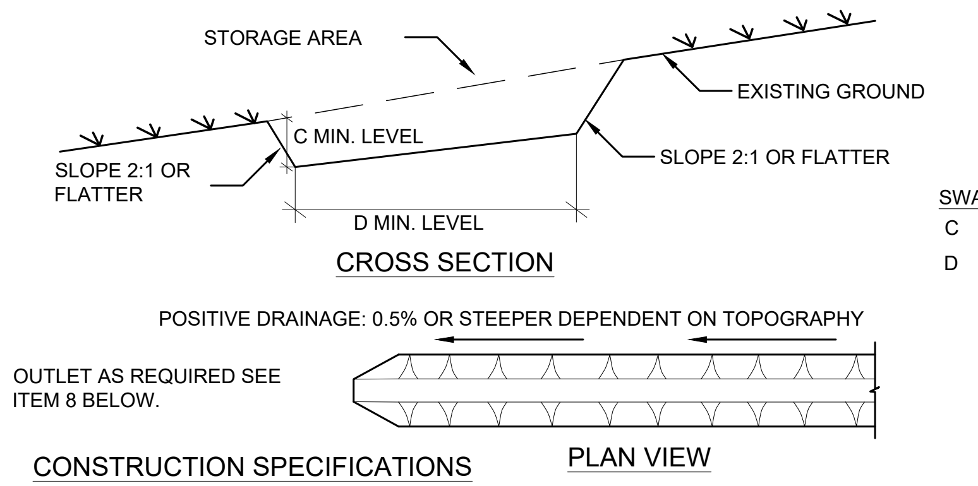
DAY STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT
TORREGROSSA SUBDIVISION
Town of Wappinger
Dutchess County, New York

DRAWING
DRIVEWAY DETAILS

SCALE	DRAWN BY	DRAWING No.
AS NOTED	BJS	5
DATE	CHECKED BY	
11-22-22	BJS	5 of 7



	SWALE A	SWALE B
C	1'	1'
D	4'	6'

CONSTRUCTION SPECIFICATIONS

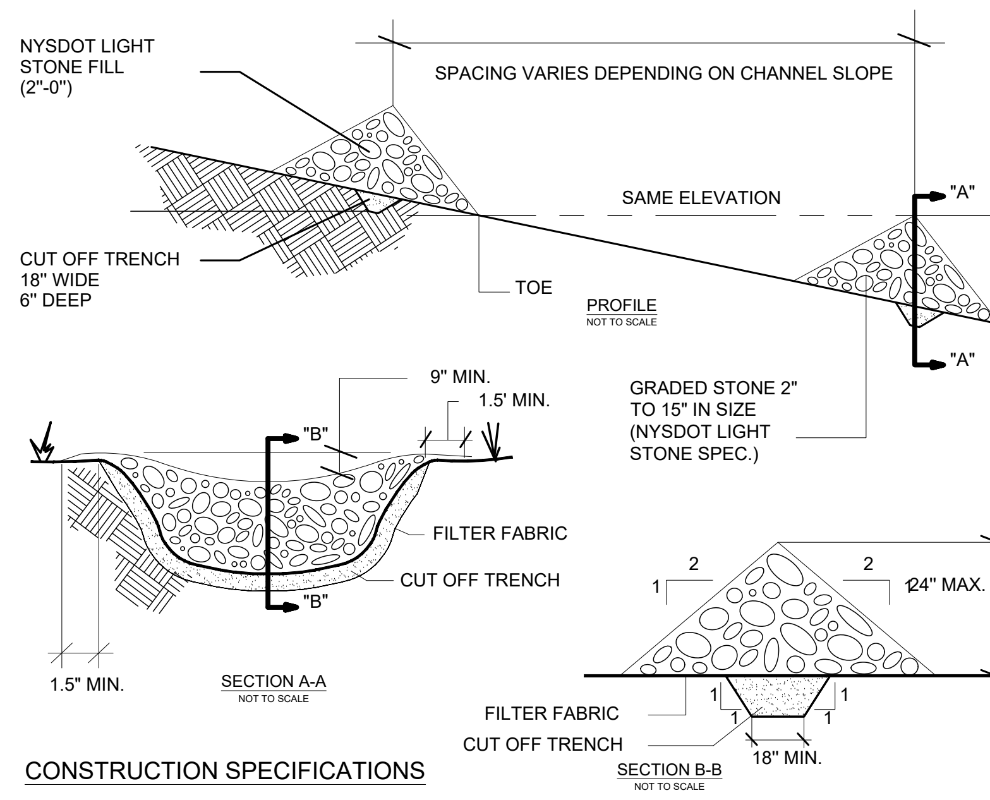
1. ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
2. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
3. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
4. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
5. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
6. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
7. STABILIZATION SHALL BE AS PER THE FLOW CHANNEL STABILIZATION CHART BELOW:

TYPE OF TREATMENT	CHANNEL GRADE	A(5 AC. OR LESS)	B(5 AC -10AC) .
1	0.5-3.0%	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1-5.0%	SEED AND STRAW MULCH	SEED USING JUTE OR EXCELSIOR
3	5.1-8.0%	SEED WITH JUTE OR EXCELSIOR, SOD	LINED WITH 4-8" RIP-RAP OR RECYCLED CONCRETE EQUIVALENT
4	8.1-20.%	LINED WITH 4-8" RIP-RAP	ENGINEERED DESIGN

9. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

TEMPORARY SWALE DETAIL

NOT TO SCALE



DAM SPACING:

S=H/S
H - HT. OF DAM
S - CHANNEL SLOPE

2.0 AC. MAX. DRAINAGE AREA

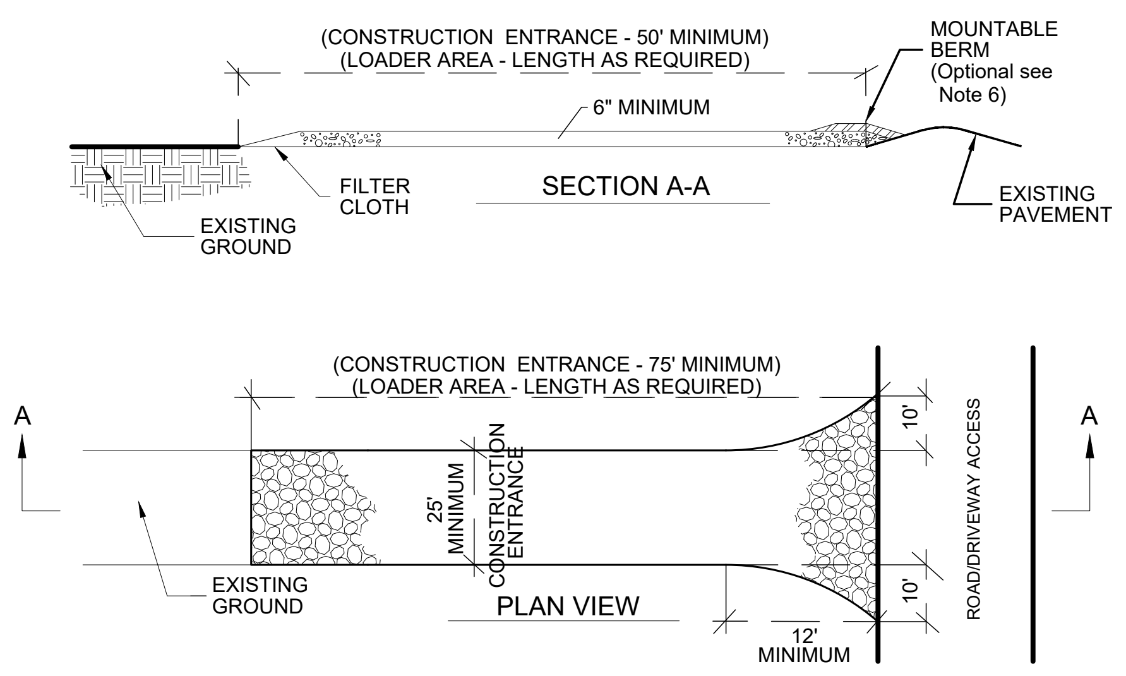
SLOPE	SPACING
2%	100.0'
4%	50.0'
6%	33.3'
8%	25.0'
10%	20.0'
12%	16.6'
14%	14.3'
16%	12.5'

CONSTRUCTION SPECIFICATIONS

1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN ON THIS PLAN.
2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWN STREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT RUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THE CHANNEL APPURTANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.
6. CHECKS DAMS SHALL BE INSPECTED AFTER EACH RUNOFF EVENT AND ALL DAMAGE THAT OCCURS SHALL BE CORRECTED IMMEDIATELY.
7. REMOVE SEDIMENT ACCUMULATION BEHIND THE CHECK DAM S REQUIRED TO ALLOW CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM.

TYPICAL CHECK DAM DETAIL

NOT TO SCALE

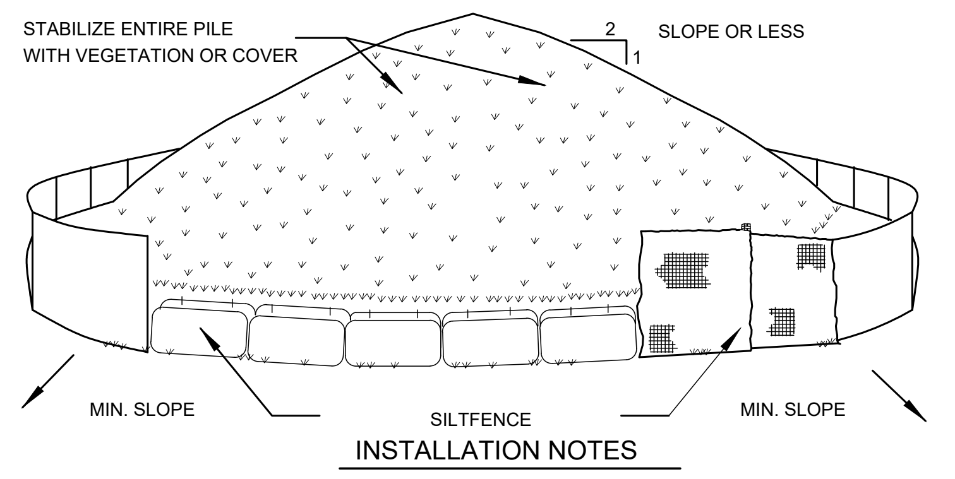


NOTES:

1. STONE SIZE - USE 2" min. STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 25 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

CONSTRUCTION ENTRANCE DETAIL

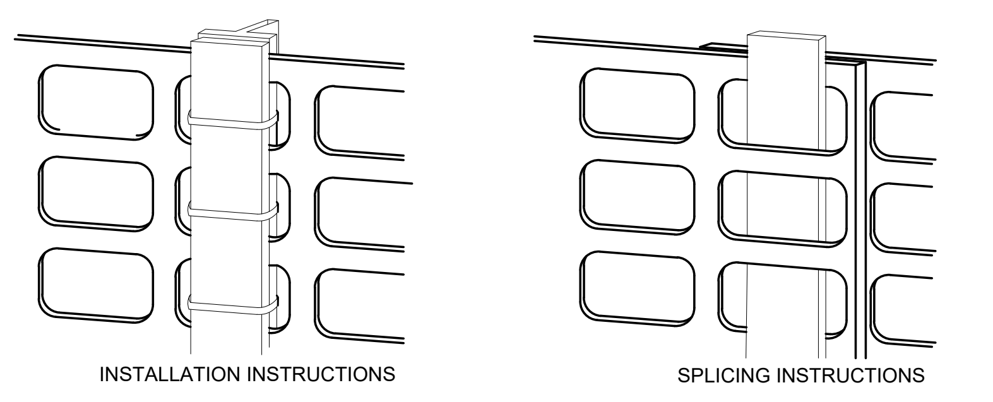
NOT TO SCALE



INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION

TOPSOIL STOCKPILE DETAIL



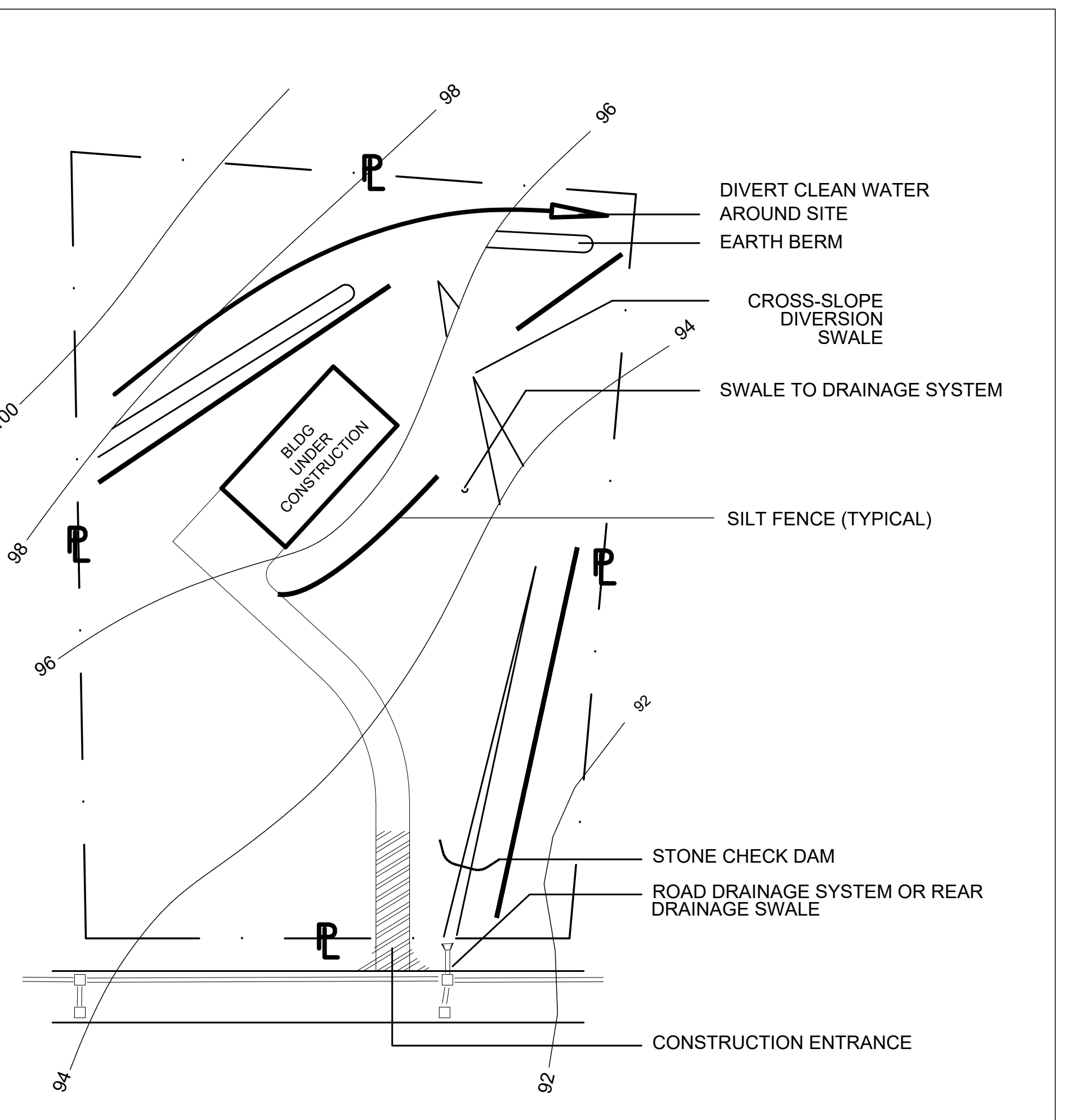
1. T-POST SHOULD BE PLACED A MAXIMUM OF 10 FEET APART
2. VERTICAL STRAND OF FENCE SHOULD BE SANDWICHED BETWEEN FLAT SIDE OF T-POST AND 1"X2" WOOD SLAT
3. WIRE TIES OR PLASTIC CABLE TIES CAN THEN BE USED TO SECURE THE SLAT AND FENCE STRAND TO THE T-POST.

1. TO CONNECT FENCE SECTIONS, OVERLAP 2 STRAND SECTION FROM EACH END END WEAVE A 1"X2" SLAT THROUGH THE OVERLAPPED STRANDS
2. FENCE SHOULD BE TENSIONED BY HAND ONLY DO NOT USE MECHANICAL TENSIONERS.

ORANGE CONSTRUCTION FENCE DETAIL

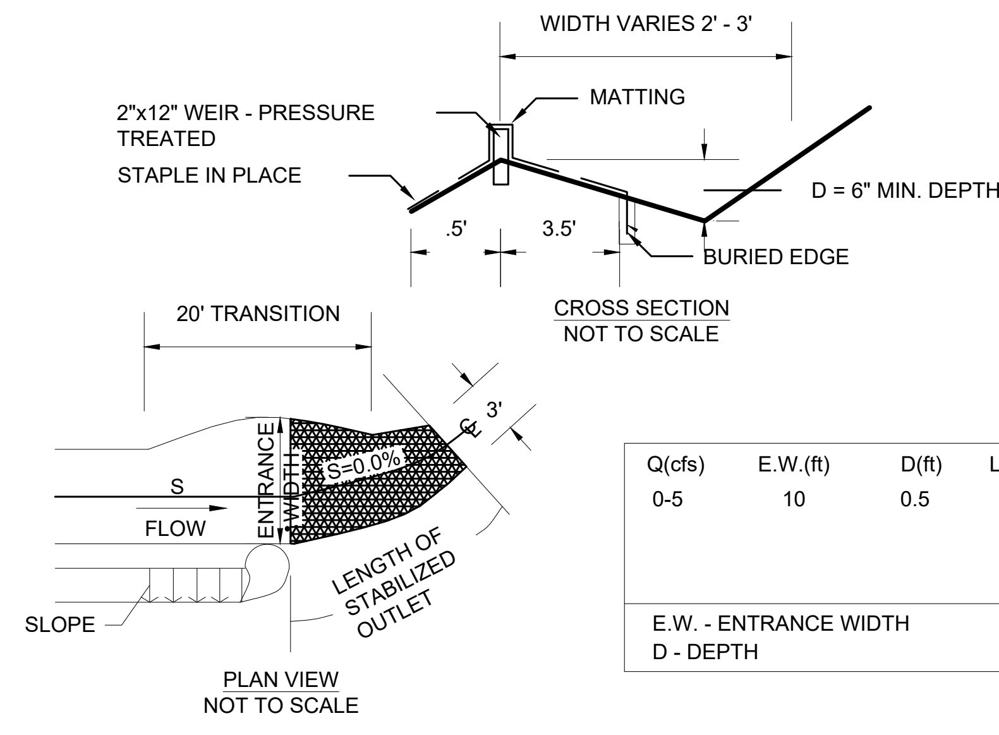
STOCKPILE & FENCING DETAIL

NOT TO SCALE



INDIVIDUAL LOT GRADING WHILE IN CONSTRUCTION PHASE DETAIL

NOT TO SCALE



Q(cfs)	E.W.(ft)	D(ft)	LENGTH(ft)
0-5	10	0.5	10

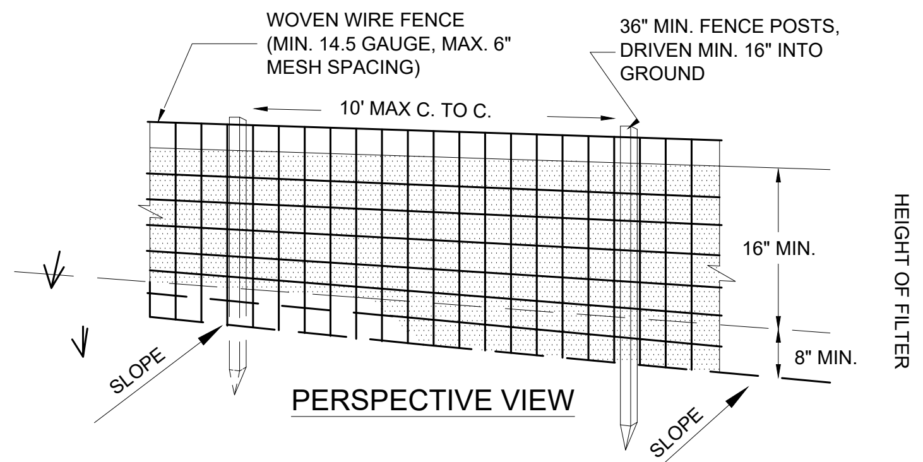
E.W. - ENTRANCE WIDTH
D - DEPTH

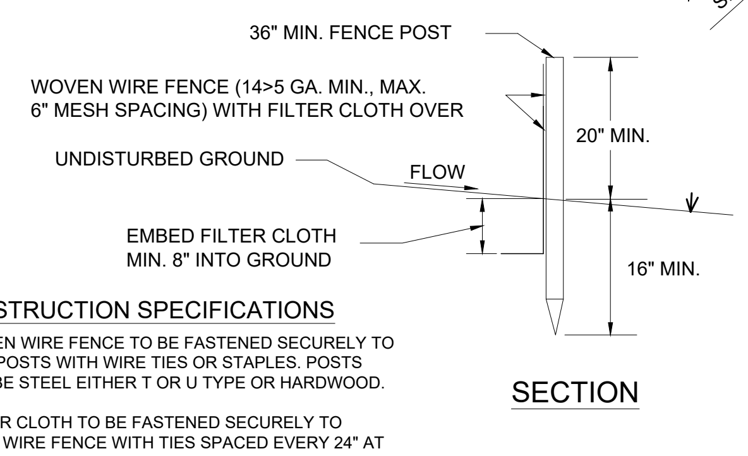
CONSTRUCTION SPECIFICATIONS

1. THE MATTING SHOULD BE A MINIMUM OF 4FT. WIDE EXTENDING 6 INCHES OVER THE WEIR AND BURIED 6 INCHES DEEP IN A VERTICAL TRENCH ON THE LOWER EDGE. THE UPPER EDGE SHOULD BUTT AGAINST SMOOTHLY CUT SOD AND BE SECURELY HELD IN PLACE WITH CLOSELY SPACED HEAVY DUTY WIRE STAPLES AT LEAST 12 INCHES IN LENGTH.
2. ENSURE THAT THE WEIR IS LEVEL TO UNIFORMLY SPREAD DISCHARGE.
3. THE WEIR SHALL BE PLACED IN UNDISTURBED SOIL NOT FILL.
4. A 20 FOOT TRANSITION SECTION WILL BE CONSTRUCTED FROM THE DIVERSION CHANNEL TO THE SPREADER TO SMOOTHLY BLEND THE DIFFERENT DIMENSION AND GRADES.
5. THE RUNOFF DISCHARGE WILL BE OUTLETED ONTO A STABILIZED VEGETATED SLOPE NOT EXCEEDING 10%.
6. SEED AND MULCH THE DISTURBED AREA IMMEDIATELY AFTER CONSTRUCTION.

LEVEL SPREADER

NOT TO SCALE





POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD

FENCE: WOVEN WIRE, 14.5 GA. 6" MAX. MESH OPENING

FILTER CLOTH: FILTER X, MIRAFI 100X, STABLINKA 1140N OR APPROVED EQUAL

PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

CONSTRUCTION SPECIFICATIONS

1) WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER T OR U TYPE OR HARDWOOD.

2) FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.

3) WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.

4) PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.

5) MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

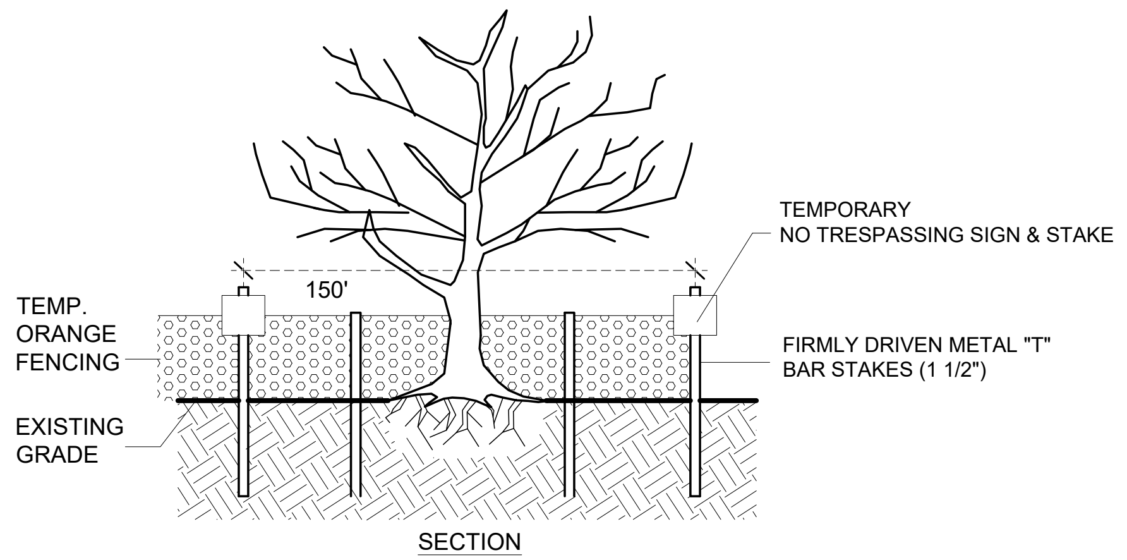
1. MAX. ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUNOFF TO A SILT FENCE IN A SLOPE ARE:

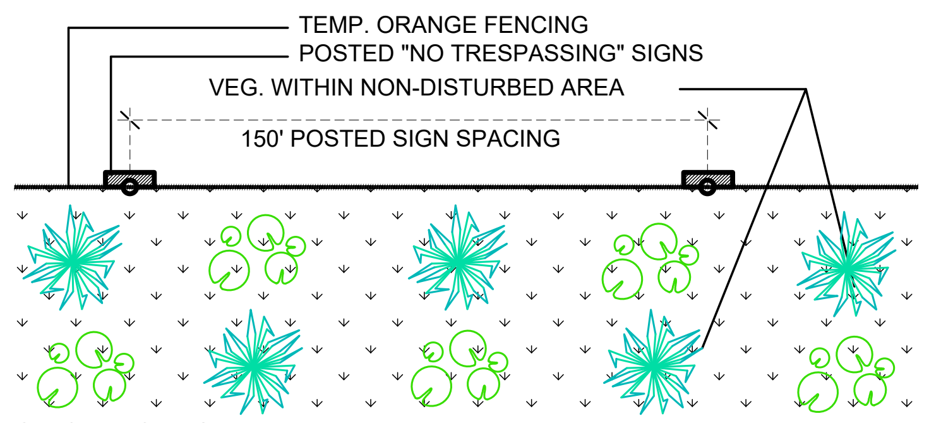
SLOPE STEEPNESS	MAXIMUM LENGTH
2:1	25
3:1	50
4:1	75
5:1 OR FLATTER	100

2. MAX. DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED $\frac{1}{4}$ ACRE PER 100' OF FENCE, WITH MAXIMUM PONDING DEPTH OF 1.5' BEHIND THE FENCE.

SILT FENCING DETAIL

NOT TO SCALE



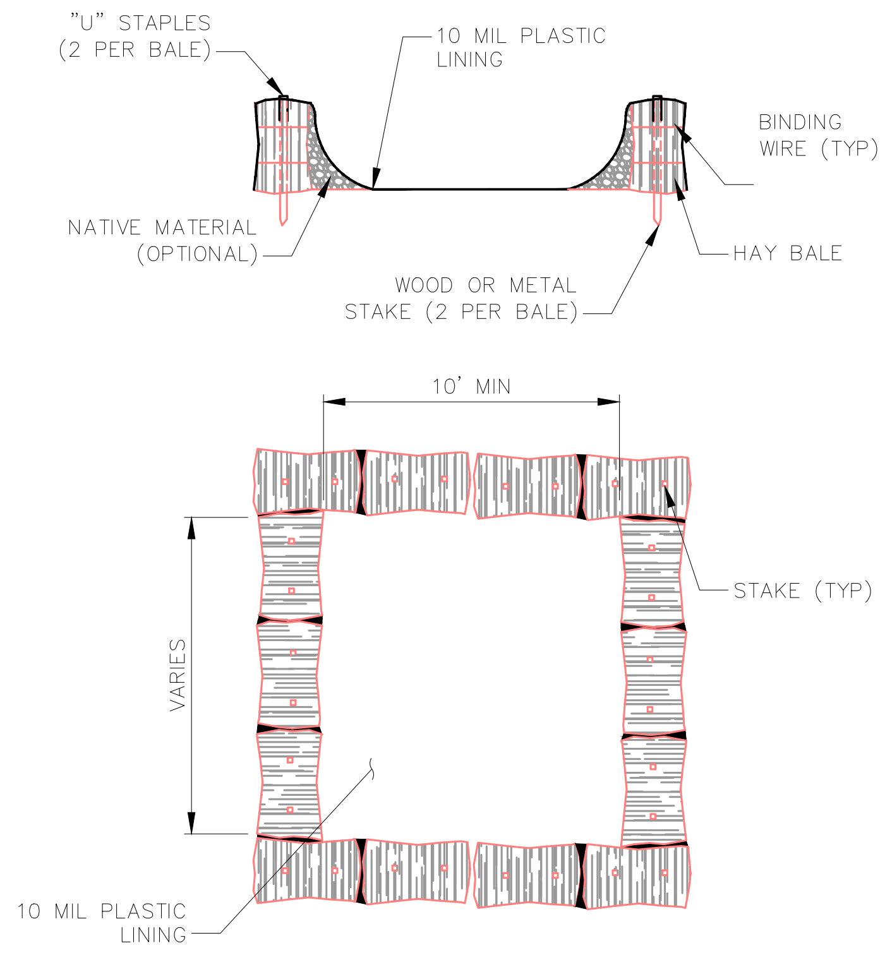


CONSTRUCTION NOTES:

1. BARRIER LIMITS ACCESS INTO BUFFER AREAS AND EDGE OF DISTURBANCE AREA DURING CONSTRUCTION ACTIVITIES. BARRIER AND SIGNAGE SHALL BE POSTED AND INSPECTED PRIOR TO SITE DISTURBANCE.
2. BARRIER SHALL BE COMPRISED OF TEMPORARY ORANGE CONSTRUCTION FENCING.
3. POSTED "NO TRESPASSING" SIGNS TO BE INSPECTED BY TOWN ENGINEER OR BUILDING INSPECTOR PRIOR TO SITE DISTURBANCE.
4. PROPOSED SIGNS SHALL STATE "NO TRESPASSING", AND BE COMPRISED OF A WEATHER RESISTANT MATERIAL TO INSURE LONGEVITY.
5. DRIVE STAKES FIRMLY INTO GROUND AT LEAST 12" BELOW GRADE.

TEMPORARY LIMIT OF DISTURBANCE FENCING

NOT TO SCALE



NOTES:

1. CONCRETE WASHOUT SIGN TO BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
2. REMOVE HARDEN CONCRETE WHEN WITHIN 4" FROM TOP OF STRUCTURE.
3. CONSTRUCT NEW FACILITIES ONCE CURRENT FACILITIES ARE TWO-THIRDS FULL.
4. LINERS, HAYBALES, ET.C SHALL BE INSPECTED FOR DAMAGE. ANY DAMAGE SHALL BE REPAIR PROMPTLY.

TEMPORARY CONCRETE WASHOUT DETAIL

NOT TO SCALE

SPDES PERMIT COVERAGE

THE NOI SHALL BE SUBMITTED TO THE NYSDEC TO OBTAIN THE SPDES GENERAL PERMIT GP-0-20-002. THIS MUST BE DONE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITY. STANDARD PERMIT CONDITIONS CAN BE FOUND IN THE APPENDIX OF THIS REPORT. A COPY OF THE NOI AND A BRIEF DESCRIPTION OF THE PROJECT SHALL BE POSTED AT THE CONSTRUCTION SITE IN A PROMINENT PLACE FOR PUBLIC VIEWING. THE OPERATOR MUST COMPLY WITH ALL CONDITIONS OF THE PERMIT AND SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS OF THE SWPPP AND ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS WHO PERFORM PROFESSIONAL SERVICES AT THE SITE PROVIDE CERTIFICATION OF THE SWPPP. SAID CONTRACTORS AND SUBCONTRACTORS ASSOCIATED WITH THE PROJECT MUST COMPLY WITH THE TERMS OF THE SWPPP. A CERTIFICATION STATEMENT THAT MUST BE SIGNED BY THE CONTRACTORS AND SUBCONTRACTORS CAN BE FOUND IN THE APPENDIX OF THE REPORT. ANY PERMIT NONCOMPLIANCE CONSTITUTES A VIOLATION OF THE CLEAN WATER ACT AND THE ENVIRONMENTAL CONSERVATION LAW AND IS GROUNDS FOR AN ENFORCEMENT ACTION AGAINST EITHER THE OPERATOR OR THE CONTRACTOR/SUBCONTRACTOR.

FOR STORMWATER RUNOFF FROM CONSTRUCTION ACTIVITIES WHERE THE OPERATOR CHANGES (I.E. TRANSFER OF OWNERSHIP OR RESPONSIBILITY FOR STORMWATER DISCHARGES), A NEW NOI MUST BE SUBMITTED BY THE NEW OPERATOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE GP-0-20-002 PERMIT. THE FORMER OPERATOR MUST SUBMIT A NOI AND NOTIFY THE NEW OPERATOR OF THE REQUIREMENT TO SUBMIT A NEW NOI TO OBTAIN COVERAGE UNDER GP-0-20-002. THE NEW OPERATOR MUST ALSO REVIEW AND SIGN THE SWPPP AND CONTINUE IMPLEMENTATION OF THE SWPPP AS REQUIRED BY THE PERMIT.

UPON OBTAINING COVERAGE UNDER GP-0-20-002, THE CONTRACTOR SHALL FOLLOW ALL MEASURES IDENTIFIED IN THE CONSTRUCTION SEQUENCING SCHEDULE. THE OPERATOR SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF INITIATION OF CONSTRUCTION ACTIVITIES TO THE DATE OF FINAL STABILIZATION. OF UTMOST IMPORTANCE, THE CONSTRUCTION SHALL NOT MIGRATE OUT OF THE AREA OF POTENTIAL EFFECT (APE) AS DELINEATED ON THE PLAN SET. CONSTRUCTION FENCE SHALL BE PROVIDED AROUND THE APE TO ENSURE THAT DISTURBANCE LIMITS ARE NOT EXCEEDED. THE LOCATION OF THE CONSTRUCTION FENCE SHALL BE STAKED OUT BY A LAND SURVEYOR. FURTHER, AT NO POINT SHALL DISTURBANCE EXCEED FIVE (5) ACRES AT ANY ONE TIME WITHOUT WRITTEN APPROVAL FROM THE NYSDEC. THE OPERATOR SHALL HAVE A QUALIFIED PROFESSIONAL (A PERSON KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICE OF EROSION AND SEDIMENT CONTROLS, SUCH AS A PROFESSIONAL ENGINEER, CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL, OR SOIL SCIENTIST) CONDUCT AN ASSESSMENT OF THE SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CERTIFY IN AN INSPECTION REPORT THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS REQUIRED BY THE PERMIT HAVE BEEN ADEQUATELY INSTALLED OR IMPLEMENTED TO ENSURE OVERALL PREPAREDNESS OF THE SITE FOR THE COMMENCEMENT OF CONSTRUCTION. FOLLOWING THE COMMENCEMENT OF CONSTRUCTION, SITE INSPECTIONS SHALL BE CONDUCTED BY THE QUALIFIED PROFESSIONAL AT LEAST EVERY SEVEN (7) CALENDAR DAYS.. THE OPERATOR SHALL MAINTAIN A RECORD OF ALL INSPECTION REPORTS IN A SITE LOG BOOK. THE SITE LOG BOOK SHALL BE MAINTAINED ON SITE AND BE MADE AVAILABLE TO THE PERMITTING AUTHORITY UPON REQUEST. THE OPERATOR SHALL CERTIFY IN THE SITE LOG BOOK THAT THE SWPPP MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND SEDIMENT CONTROL PRACTICES ON A MONTHLY BASIS, THE OPERATOR SHALL POST A SUMMARY OF SITE INSPECTIONS IN A PUBLICLY-ACCESSIBLE LOCATION.

WHERE A SITE HAS BEEN FINALLY STABILIZED (ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 80% HAS BEEN ESTABLISHED OR EQUIVALENT STABILIZATION MEASURES SUCH AS THE USE OF MULCHES OR GEOTEXTILES HAVE BEEN EMPLOYED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES), THE OPERATOR MUST SUBMIT A NOT. SUBMITTAL OF THE NOI WILL TERMINATE COVERAGE UNDER THE PERMIT. A FINAL SITE INSPECTION SHALL BE PERFORMED PRIOR TO FILING OF THE NOT. THE OPERATOR SHALL RETAIN COPIES OF THE SWPPP AND ANY REPORTS SUBMITTED IN CONJUNCTION WITH THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOI TO BE COVERED BY THE PERMIT, FOR A PERIOD OF AT LEAST FIVE (5) YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED

AN NOT MUST BE SUBMITTED BY THE CURRENT OPERATOR TO THE TOWN STORMWATER MANAGEMENT OFFICER AFTER THE NEW OPERATOR RECEIVES ACKNOWLEDGEMENT OF NOI COVERAGE, WHICH IS TO BE SUBMITTED TO THE TOWN STORMWATER MANAGEMENT OFFICER AS WELL.

MAINTENANCE TABLE WITH RESPONSIBLE PARTIES:

IN ORDER FOR ANY PLAN TO OPERATE AS IT WAS ORIGINALLY INTENDED, IT MUST BE MAINTAINED PROPERLY. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES, THE PARCEL OWNER SHALL ASSUME RESPONSIBILITY FOR MAINTENANCE OF STRUCTURES AND SMP FACILITIES LOCATED WITHIN THE PARCEL BOUNDARIES. THE FOLLOWING MEASURES HAVE BEEN IMPLEMENTED IN THE OVERALL DESIGN.

STORMWATER MANAGEMENT PRACTICE	RESPONSIBLE MAINTENANCE ENTITY	RESPONSIBLE MAINTENANCE CONTACT INFO	INSPECTION FREQUENCY	MAINTENANCE REQUIRED	GENERAL NOTES
DRIVEWAY CURTAIN DRAIN	INDIVIDUAL PARCEL OWNER	INDIVIDUAL PARCEL OWNER	ANNUALLY OR, AFTER EACH EVENT WHERE 3 IN. OF RAINFALL IS EXCEEDED IN A 24-HR PERIOD	GENERAL INSPECTION, CLEANING, REMOVE DEBRIS FROM STONE	ALL DEBRIS AND LITTER SHOULD BE COLLECTED AND REMOVED FROM THE FRENCH DRAIN STONE SURFACE. OUTLET SHOULD BE CHECKED TO ENSURE FREE FLOW, DEBRIS AND BLOCKAGES SHALL BE REMOVED.

EROSION SEDIMENT CONTROL MEASURE	RESPONSIBLE ENTITIY	INSPECTION FREQUENCY	MAINTENANCE REQUIRED
SILT FENCE	CONTRACTOR	MINIMUM WEEKLY AND AFTER STORM EVENTS	REPLACEMENT WHEN TORN OR OTHERWISE DAMAGED. MATERIAL REMOVED WHEN BULGING
CONSTRUCTION ENTRANCE	CONTRACTOR	MINIMUM WEEKLY AND AFTER STORM EVENTS	TOPDRESS STONE IF EVIDENCE OF TRACKING OUTSIDE CONSTRUCTION AREA. FULL REPLACEMENT IF TOPDRESSING NO LONGER EFFECTIVE
STONE CHECK DAM	CONTRACTOR	MINIMUM WEEKLY AND AFTER STORM EVENTS	RESHAPE AND/OR REPLACE STONE AS REQUIRED. REMOVE BUILT UP DEBRIS AND SEDIMENT

SEEDING NOTES:

1) EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS SEED MIX AS REQUIRED:

STEEP SLOPES (3:1)

TEMPORARY SEEDING -
SUMMER SEASON - GERMAN MILLET @ 40 LBS PER ACRE
WINTER SEASON - RYE GRAIN @ 120 LBS PER ACRE

PERMANENT SEEDING - SPRING/FALL
TALL FESCUE @ 100 LBS PER ACRE
KOBE LESPEDEZA @ 10 LBS PER ACRE
BAHIAGRASS @ 25 LBS PER ACRE
RYE GRAIN @ 40 LBS PER ACRE

4) GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF N.Y. STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

5) SEEDED AREAS SHALL BE MULCHED AS REQUIRED:

MID-SUMMER, LATE FALL OR WINTER
APPLY AT A RATE OF 100 LBS/1,000 SQ.FT. GRAIN STRAW, COVER WITH NETTING AND STAPLE TO THE SLOPE.

SPRING OR EARLY FALL
APPLY AT A RATE OF 45 LBS/1,000 SQ.FT. WOOD FIBER IN A HYDRO SEEDER SLURRY.

EROSION AND SEDIMENT CONTROL MEASURES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", AUGUST 2016.
2. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
3. AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
4. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
5. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.
6. SEEDED AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER. SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS
9. WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

ADDITIONAL SITE SPECIFIC CONSTRUCTION NOTES:

1. ALL EROSION CONTROL MEASURES AS SHOWN ON THE ORIGINAL APPROVED PLAN SHALL BE CLOSELY FOLLOWED.
2. THE USE OF TEMPORARY CHAIN LINK FENCE IS ENCOURAGED TO PREVENT UNAUTHORIZED ACCESS TO THE CONSTRUCTION AREA.
3. ITEMS LOCATED IN THE SWPPP REPORT ON FILE WITH THE TOWN OF WAPPINGER PLANNING OFFICE: BACKGROUND INFORMATION ABOUT THE SCOPE OF THE PROJECT, INCLUDING LOCATION, TYPE AND SIZE OF PROJECT.
- A COMPARISON OF PRE/POST DEVELOPMENT RUNOFF VALUES
- LONG TERM MAINTENANCE OF DRAINAGE FACILITIES.
- PERTINENT NYS EROSION AND SEDIMENT CONTROL MEASURES SPECIFICATIONS FROM THE "BLUE BOOK"

LANDGRADING SPECIFICATIONS

1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS".
3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
5. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
6. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
7. ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
8. EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
9. FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
10. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
11. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
12. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
13. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
14. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.

DESCRIPTION OF EROSION CONTROL PRACTICES

TEMPORARY SWALE - A TEMPORARY EXCAVATED DRAINAGE WAY. THE PURPOSE OF A TEMPORARY SWALE IS TO PREVENT RUNOFF FROM ENTERING DISTURBANCE AREAS BY INTERCEPTING AND DIVERTING IT TO A STABILIZED OUTLET.

SILT FENCE - A TEMPORARY BARRIER OF GEOTEXTILE FABRIC (FILTER CLOTH) USED TO INTERCEPT SEDIMENT LADEN RUNOFF FROM SMALL DRAINAGE AREAS OF DISTURBED SOIL. THE PURPOSE OF A SILT FENCE IS TO REDUCE RUNOFF VELOCITY AND EFFECT DEPOSITION OF TRANSPORTED SEDIMENT LOAD. LIMITS IMPOSED BY ULTRAVIOLET STABILITY OF THE FABRIC WILL DICTATE THE MAXIMUM PERIOD THE SILT FENCE MAY BE USED.

CHECK DAM - SMALL TEMPORARY STONE DAMS CONSTRUCTED ACROSS A DRAINAGE WAY. THE PURPOSE IS TO REDUCE EROSION IN A DRAINAGE CHANNEL BY RESTRICTING THE VELOCITY OF FLOW IN THE CHANNEL.

STABILIZED CONSTRUCTION ENTRANCE - A STABILIZED PAD OF AGGREGATE UNDERLAIN WITH FILTER CLOTH LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT OF WAY, STREET ALLEY, SIDEWALK OR PARKING. THE PURPOSE OF A STABILIZED CONSTRUCTION ENTRANCE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR STREETS.

DUST CONTROL - THE CONTROL OF DUST RESULTING FROM LAND-DISTURBING ACTIVITIES. THE PURPOSE IS TO PREVENT SURFACE AND AIR MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES THAT MAY CAUSE OFF-SITE DAMAGE, HEALTH HAZARDS, AND TRAFFIC SAFETY PROBLEMS.

ROCK OUTLET PROTECTION - A SECTION OF ROCK PROTECTION PLACED AT THE OUTLET AND OF THE CULVERTS, CONDUITS, OR CHANNELS. THE PURPOSE OF THE ROCK OUTLET PROTECTION IS TO REDUCE THE DEPTH, VELOCITY, AND ENERGY OF THE WATER, SUCH THAT THE FLOW WILL NOT ERODE THE RECEIVING DOWNSTREAM REACH. SEE EROSION CONTROL PLAN FOR FURTHER DETAIL.

OWNER CONSENT

THE UNDERSIGNED OWNER(S) OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER ________________ DATE ________

TOWN OF WAPPINGER PLANNING BOARD

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK ON THE _______________ DAY OF_____ ___________, 2023 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.
TOWN OF WAPPINGER PLANNING BOARD

SIGNED THIS_____________ DAY OF __________________________, 2023

TOWN OF WAPPINGER PLANNING BOARD CHAIR

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Brian J. Stokosa, PE
083970

Revisions
MAY 07, 2023
APRIL 15, 2023
FEBRUARY 9, 2023

Project No. 2022:478
License No. 083970

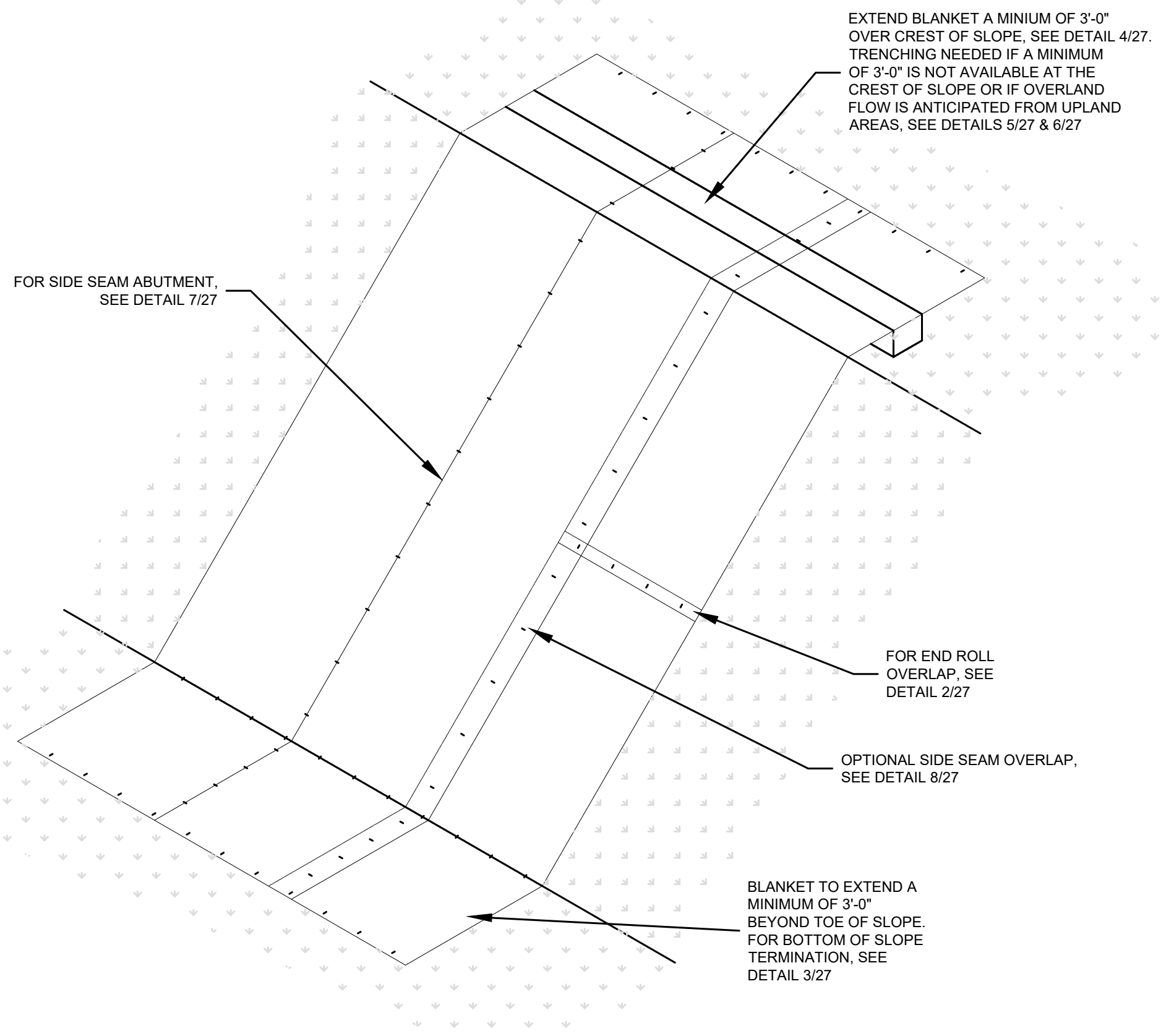
DAY | STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT
TORREGROSSA SUBDIVISION
Town of Wappinger
Dutchess County, New York

DRAWING
EROSION & SEDIMENT CONTROL PLAN

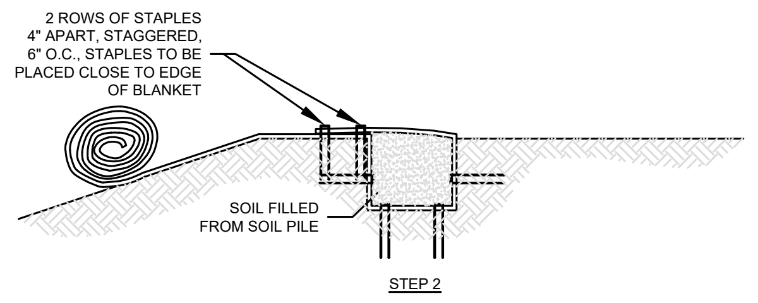
SCALE: AS NOTED
DRAWN BY: BJS
DATE: 11-22-22
CHECKED BY: BJS
DRAWING No. 6



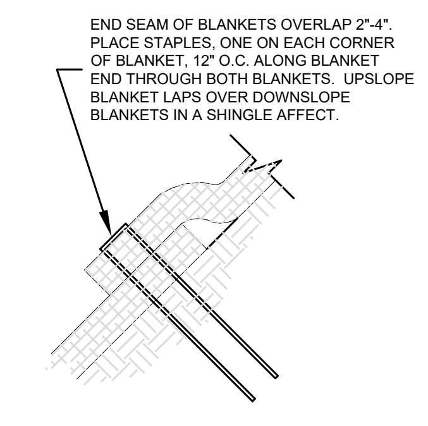
SLOPE DETAIL 1/27
NO SCALE

OVER SLOPE CREST METHOD 4/27
NO SCALE

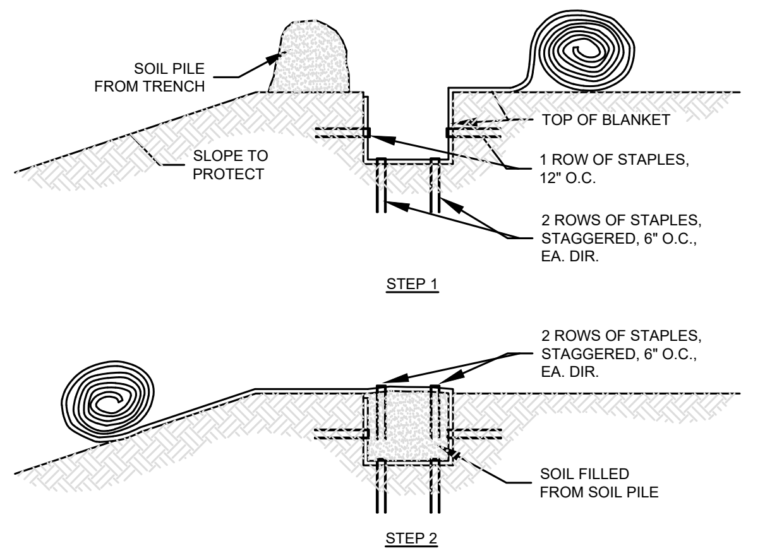
DO NOT NEED TO TRENCH BLANKET IN IF IT CAN BE EXTENDED A MINIMUM OF 3'-0" OVER THE CREST OF THE SLOPE.



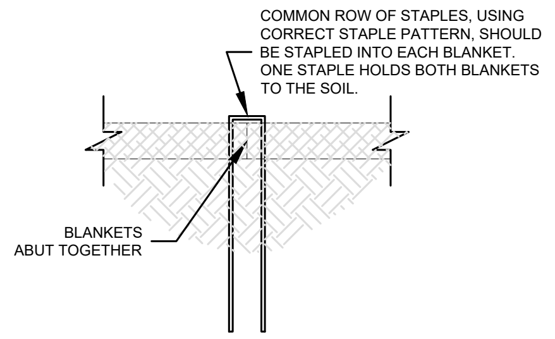
SLOPE TRENCHING METHOD "B" 6/27
NO SCALE



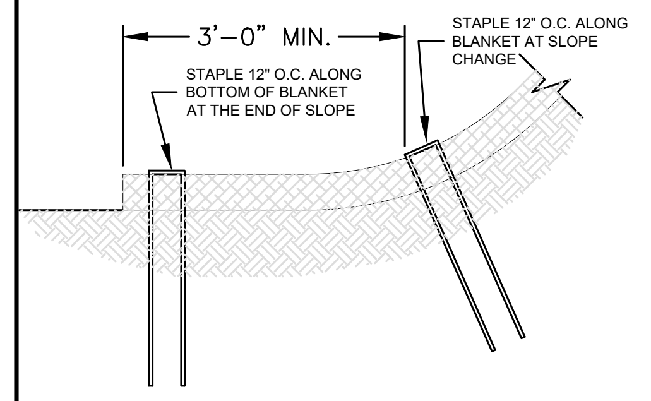
END ROLL OVERLAP 2/27
NO SCALE



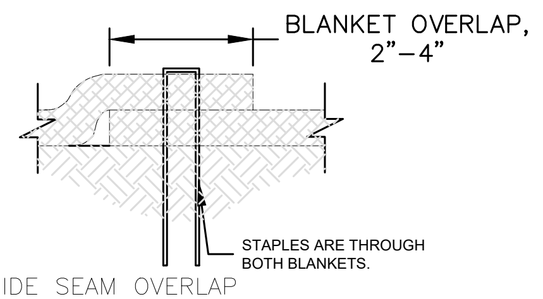
SLOPE TRENCHING METHOD "A" 5/27
NO SCALE



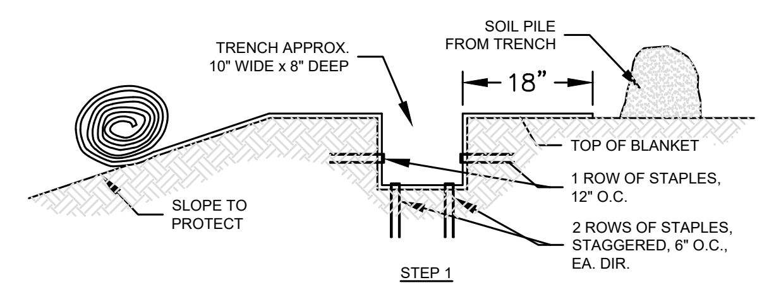
SIDE SEAM ABUT STAPLE DETAIL 7/27
NO SCALE



BOTTOM OF SLOPE TERMINATION 3/27
NO SCALE



SIDE SEAM OVERLAP STAPLE DETAIL 8/27
NO SCALE



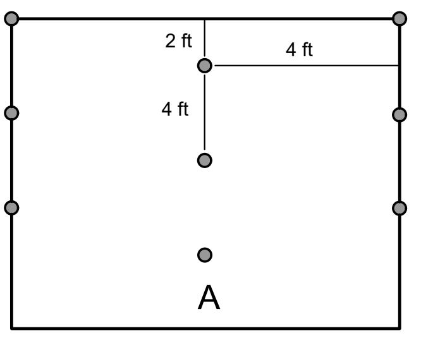
STEEP SLOPE PROTECTION

N.T.S.

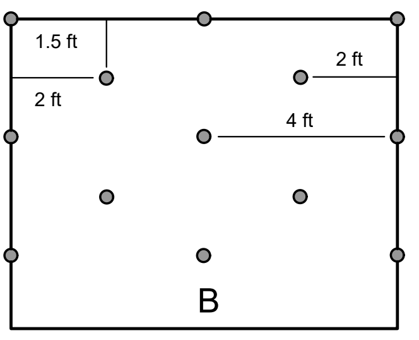
For 8 ft wide Curlex CL Erosion Control Blankets
Adjust horizontal staple spacing for 4ft and 16 ft wide Curlex Erosion Control Blankets

Application	Slope		
	≤ 4H:1V	≤ 3H:1V	≤ 1.5H:1V
Staple Pattern	A	B	C

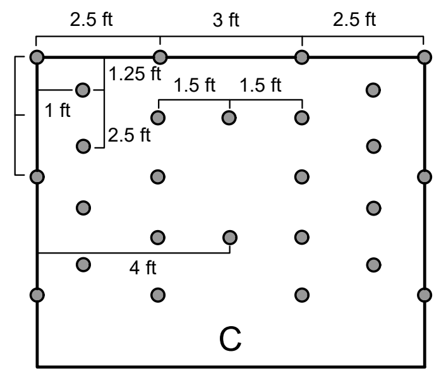
● = Staple Placement



0.9 Staples/yd²



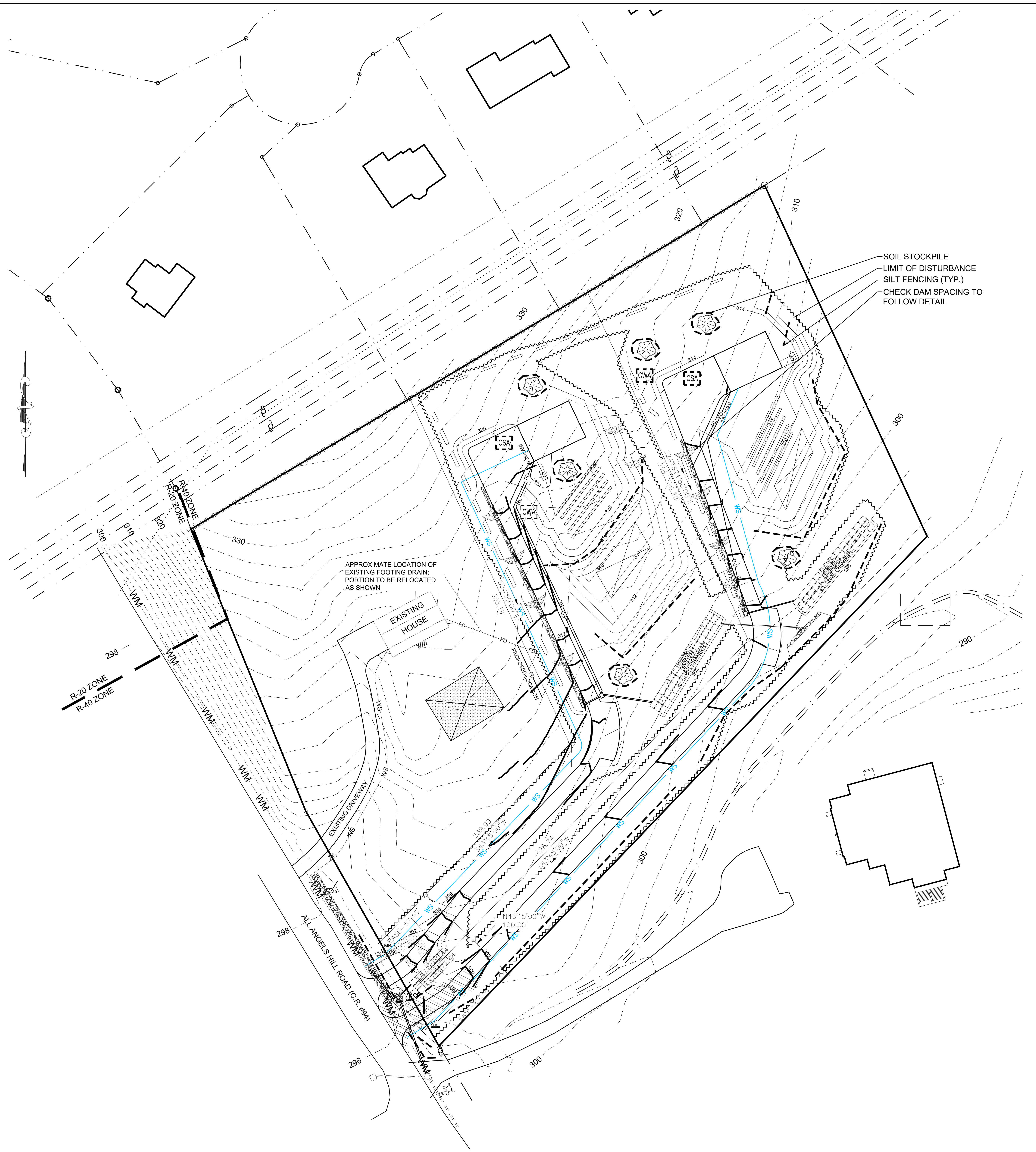
1.9 Staples/yd²



2.5 Staples/yd²

Notes:

1. Recommended staples are minimum 4 in biodegradable E-Staple ®, as provided by American Excelsior Company, or 6 in wire for cohesive soils and 6 in biodegradable E-Staple ®, as provided by American Excelsior Company, or 8 in wire for non-cohesive soils.
2. For best results insert staples so heads are parallel to the flow of water.



EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 50'

SEDIMENT & EROSION PLAN LEGEND

CWA	CONCRETE WASHOUT AREA
CSA	CONSTRUCTION STAGING AREA
〰	DISTURBANCE LIMITS
▬ · · ▬	WATER BAR
A-2 B-3	
······	TEMPORARY SWALE
▬ ▬ ▬	PROPOSED SILT FENCING
◡	CHECK DAM LOCATION (FOLLOW DAM SPACING TABLE)
▨	CONSTRUCTION ENTRANCE
✳	TEMPORARY SOIL STOCKPILE WITH SILT FENCING EROSION CONTROL
░	STEEP SLOPE PROTECTION

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ENGINEERING P.C.

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PROJECT
TORREGROSSA SUBDIVISION
Town of Wappinger Dutchess County, New York

DRAWING
EROSION & SEDIMENT CONTROL PLAN

SCALE	DRAWN BY	DRAWING No.
AS NOTED	BJS	7
DATE	CHECKED BY	
11-22-22	BJS	7 of 7

OWNER CONSENT

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TOWN OF WAPPINGER PLANNING BOARD

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TOWN OF WAPPINGER PLANNING BOARD

SIGNED THIS______________ DAY OF ____________________________, 2023

TOWN OF WAPPINGER PLANNING BOARD CHAIR